LEGACYPROPERTY

ORCHARD HILLS NORTH
STAGE 1

SUBDIVISION WORKS CERTIFICATE
PROPOSED LOT, ROAD AND DRAINAGE WORKS
DA 23/0969

IMAGE REF: METROMAP - 08/08/23

LOCALITY SKETCH

N

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

PENRITH CITY COUNCIL
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS
This plan / document relates to
Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
Subject to the conditions outlined in the consent

C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	EXTENT OF WORKS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
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CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION
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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
COVER SHEET

PROJECT No: 110265-09
SHEET No: DD1001

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1001 | C

Plotted: 13 November , 2024 3:47:46 PM File Name: C:\SynergyWS\data\AS\JWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1001.dwg

LEGEND

DESCRIPTION	PROPOSED	EXISTING	FUTURE
EXTENT OF WORKS			
KERB & GUTTER	KG		
KERB RAMP			
DRAINAGE LINE, PIT & EASEMENT	05/05 Ø225		
DRAINAGE LINE & PIT	05/06 Ø600		
DRAINAGE LINE & PIT			
CONTOURS	50.0	50.0	
CATCH DRAIN			
EASEMENT			
ELECTRICITY, POWER POLE		eE PP	
OVERHEAD ELECTRICITY, POWER POLE		OH PP	
TELECOM (OPTUS), BOX		eO eO	
TELECOM (TELSTRA), BOX		eT eT	
TELECOM (OPTIC FIBRE), BOX		OF	
WATER, STOP VALVE, HYDRANT		HYD eW SV	
SEWER, MANHOLE & MAINTENANCE CHAMBER	MC S	eS SMH	
GAS		eG	
RECYCLED WATER	RW RW RW RW RW		
RETAINING WALL			
STREET NAME SIGNS	SP		
ROAD PAVEMENT			
1% AEP FLOOD EXTENT (DEVELOPED CONDITION)			
PROPERTY BOUNDARY			
SUBSTATION			
SPLIT LEVEL PRODUCT	*		
KERB RETURN NO.	KR 07		
PROPOSED TREES			
TREES TO BE RETAINED			
TREES TO BE REMOVED			
STABILISED SITE ACCESS			
SEDIMENT FENCE			
STRAW BALE BARRIER			
STOCKPILE	SP		
PROTECTIVE FENCING			
MESH AND GRAVEL INLET FILTER			
GEOTEXTILE INLET FILTER			
SUBSOIL DRAINAGE	FLUSHING POINT SS		
STREET SUBSOIL DRAINAGE	SS		
BIORETENTION RAINGARDEN			
SEDIMENT FOREBAY			

GENERAL NOTES:

1. ALL WORKS ARE TO BE IN ACCORDANCE WITH PENRITH CITY COUNCILS "DESIGN GUIDELINES FOR ENGINEERING WORKS FOR SUBDIVISIONS AND DEVELOPMENTS" & "ENGINEERING CONSTRUCTION SPECIFICATION FOR CIVIL WORKS".
2. SURVEY MARKS:-
   - 2.a. STATE SURVEY MARKS LOCATIONS TO BE FIXED BY PROJECT SURVEYOR DURING WORK AS EXECUTED SURVEY OF SUBDIVISION.
   - 2.b. SURVEY MARKS SHOWN SHALL BE RETAINED AT ALL TIMES. WHERE RETENTION IS NOT POSSIBLE THE SUPERINTENDENT MUST BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL.
3. THE CONTRACTOR SHALL LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST IF NECESSARY.
4. THE CONTRACTOR SHALL NOT ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE WRITTEN PERMISSION OF THE OWNERS. TO BE PROVIDED PRIOR TO THE APPROVAL OF THE PLANS.
5. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO ADJOINING PROPERTIES.
6. NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT THE PRIOR APPROVAL OF COUNCIL'S ENGINEER.
7. TREES TO BE RETAINED ON SITE SHALL BE PROTECTED BY SUITABLE STURDY APPROVED PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF SITE WORKS.
8. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES OUT-HOUSES, CAR BODIES AND DEBRIS ETC.
9. EXISTING SEDIMENT BASINS SHALL BE DEWATERED AND DESILTED. LEVELS SHALL BE OBTAINED ON SOUND MATERIAL PRIOR TO FILLING.
10. FILLING IS TO BE FROM A NOMINATED SOURCE, OF SOUND CLEAN MATERIAL, FREE FROM LARGE ROCK, STUMPS, CONTAMINATED MATTER, INDUSTRIAL AND BUILDING WASTE, ORGANIC MATTER AND OTHER DEBRIS. PLACING OF FILLING ON THE PREPARED AREAS SHALL NOT COMMENCE UNTIL THE AUTHORITY TO DO SO HAS BEEN OBTAINED FROM THE COUNCIL.
11. SITE FILL AREAS:- THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
12. ALL SITE FILLING TO BE COMPACTED TO 95% STANDARD COMPACTION AND SHALL BE CONTROLLED BY A REGISTERED SOIL LABORATORY IN ACCORDANCE WITH COUNCIL'S "ENGINEERING CONSTRUCTION SPECIFICATION FOR CIVIL WORKS".
13. ALL SITE REGRADING AREAS SHALL BE GRADED AT A MINIMUM 1% TO THE ENGINEERS. REQUIREMENTS.
14. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED BY THE SUPERINTENDENT.
15. EASEMENT WIDTHS SHALL BE IN ACCORDANCE WITH 3.11 DRAINAGE EASEMENTS OF PENRITH CITY COUNCIL'S DESIGN GUIDELINES FOR ENGINEERING WORKS FOR SUBDIVISION AND DEVELOPMENTS.

PIPE DIA.	EASEMENT WIDTH
150Ø	1.5m
225Ø	2.0m
300Ø	2.0m
375Ø	2.5m
450Ø	2.5m
545Ø	2.5m
600Ø	2.5m
675Ø	3.0m

16. DRAINAGE LINES UNDER ROADS SHALL BE BACKFILLED WITH NON-COHESIVE SAND AND HAVE 3m OF SUBSOIL DRAIN WRAPPED IN APPROVED FILTER SOCK, DISCHARGING INTO DOWN STREAM PITS.
    PIPE CLASS INDICATED ARE FOR REINFORCED CONCRETE PIPES (RCP)
    IF FIBRE REINFORCED CONCRETE PIPES (FRC) REFER TO PENRITH CITY COUNCIL "ENGINEERING CONSTRUCTION SPECIFICATION FOR CIVIL WORKS"
17. ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL ASPHALTIC CONCRETE SEAL.
18. VEHICULAR CROSSINGS SHALL BE CONSTRUCTED IN KERB AND GUTTER WHERE SHOWN IN ACCORDANCE WITH PCC STANDARD DRAWING SD1004.
19. PRAM CROSSINGS SHALL BE CONSTRUCTED IN KERB AND GUTTER IN ACCORDANCE WITH COUNCIL'S STANDARD DRAWING SD1002.
20. STREET NAME SIGNS SHALL BE ERECTED, WHERE SHOWN, IN ACCORDANCE WITH COUNCIL'S STANDARD SD1006/1 AND SD1006/2.
21. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
22. ALL INTERALLOTMENT DRAINAGE LINES SHALL BE LAID AT A MINIMUM GRADE OF 1% UNLESS OTHERWISE INDICATED.
23. DRAINAGE LINES ON PLANS ARE DIAGRAMMATIC ONLY AND PIPE CENTRELINES SHALL ENTER AND EXIT PITS AT THE CENTRE OF THE RESPECTIVE PIT WALLS.
24. DIMENSIONS OF ANY DETAIL SHALL NOT BE SCALED - DIMENSIONS, IF IN DOUBT, SHALL BE VERIFIED BY THE SUPERINTENDENT.
25. ALL CONSTRUCTION AND RESTORATION WORK ON COUNCIL'S ROAD AND FOOTPATH AREA ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED DRAWINGS AND COUNCIL'S STANDARD SPECIFICATIONS AND APPROVED BY PENRITH CITY COUNCIL THROUGH A S138 ROADS ACT APPROVAL.
26. ALL LAND THAT HAS BEEN DISTURBED BY EARTHWORKS IS TO BE SPRAY GRASSED OR SIMILARLY TREATED TO ESTABLISH A GRASS COVER.
27. NO FILL MATERIAL IS TO BE IMPORTED TO THE SITE WITHOUT THE PRIOR APPROVAL OF PCC IN ACCORDANCE WIT H SYDNEY REGIONAL ENVIRONMENTAL PLAN No.20 (HAWKESBURY-NEPEAN RIVER) (No.2-1997). NO RECYCLING OF MATERIAL FOR USE OF FILL MATERIAL SHALL BE CARRIED OUT ON THE SITE WITHOUT THE PRIOR APPROVAL OF COUNCIL.
28. ALL EARTHWORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH AS3798 AND PCC DESIGN GUIDELINES FOR ENGINEERING WORKS FOR SUBDIVISIONS AND DEVELOPMENTS AND ENGINEERING CONSTRUCTION SPECIFICATIONS FRO CIVIL WORKS.
29. VEHICLE CROSSINGS TO BE LOCATED 1.0m CLEAR OF ANY LINTELS.
30. ALL VERGE AREAS EXTEND FROM BACK OF KERB TO PROPERTY BOUNDARY TO BE TURFED.
31. ALL STORMWATER PITS WITH DEPTHS GREATER THAN 1.0m TO HAVE GALVANISED OR OTHERWISE APPROVED STEP IRONS AT 300mm SPACING INSTALLED.
32. KERB TYPES USED IN SITE ARE KERB AND GUTTER UNLESS OTHERWISE NOTED. FOR DETAILS REFER TO PENRITH CITY COUNCIL "ENGINEERING CONSTRUCTION SPECIFICATION FOR CIVIL WORKS" STANDARD SD1003/1 & SD1003/2.
33. KERB ADAPTORS SHALL BE PROVIDED FOR ALL LOTS DRAINING TO THE STREET. FOR DETAIL REFER TO PENRITH CITY COUNCIL "ENGINEERING CONSTRUCTION SPECIFICATION FOR CIVIL WORKS"
34. ALL WASTE MATERIAL STORED ON-SITE ARE TO BE CONTAINED WITHIN A DESIGNATED AREA SUCH AS A WASTE BAY OR BIN. CONTRACTOR TO ENSURE THAT NO WASTE MATERIALS ARE ALLOWED TO ENTER THE STORMWATER SYSTEM OR NEIGHBOURING PROPERTIES. THE DESIGNATED WASTE STORAGE AREAS SHALL PROVIDE AT LEAST TWO WASTE BAY/BINS SO AS TO ALLOW FOR THE SEPARATION OF WASTES, AND ARE TO BE FULLY ENCLOSED WHEN SITE IS UNATTENDED.
35. AN APPROPRIATE QUALIFIED PERSON/S SHALL SUPERVISE ALL FILLING WORKS.

SURVEY SET OUT INFORMATION NOTES:

1. ALL SITE SET OUT AND CONTROL POINTS ARE TO BE CERTIFIED BY A REGISTERED SURVEYOR.
2. THE INFORMATION DETAILED ON THE CERTIFIED CONSTRUCTION CERTIFICATE PLANS TAKES PRECEDENCE OVER ALL ELECTRONIC INFORMATION PROVIDED. THE ORDER OF PRIORITY FOR USE OF ALL INFORMATION PROVIDED IS AS FOLLOWS:
   - a. CERTIFIED CONSTRUCTION CERTIFICATE DRAWINGS
   - b. 2D DRAFTING BASE (ELECTRONIC FILE)
   - c. 3D DTM (ELECTRONIC FILE)
3. ANY DISCREPANCY BETWEEN ANY OF THE INFORMATION CONTAINED WITHIN THESE FILES IS TO BE BROUGHT TO THE ATTENTION OF THE SUPERINTENDENT PRIOR TO CONSTRUCTION WHO WILL SEEK CLARIFICATION AND ISSUE INSTRUCTIONS ON THE APPROPRIATE COURSE OF ACTION.

CUSTOM MADE PRECAST PIT NOTES:

1. DESIGN DOCUMENTATION REFLECTS PRECAST DRAINAGE PITS BEING USED FOR THE SITE. UNLESS NOTED OTHERWISE.
2. AUSPITS CUSTOM MADE PRECAST PITS TO BE USED.
3. PITS TO COMPLY WITH THE FOLLOWING PARAMETERS:
   - 3.a. ARE SPECIFICALLY MANUFACTURED FOR THE PROJECT.
   - 3.b. EACH PIT IS ACCOMPANIED BY A CERTIFICATE OF STRUCTURAL ADEQUACY SIGNED BY A NPER ENGINEER (STRUCTURAL)
   - 3.c. THE STRUCTURAL CERTIFICATION OF THE PITS SHOULD INCLUDE ANY ADDITIONAL PRECAST ELEMENTS REQUIRED TO BRING THE PIT UP TO FINAL LEVELS ON SITE.
   - 3.d. PITS MUST BE FIRMLY BEDDED ON SOUND MATERIAL.
   - 3.e. CONCRETE IS TO BE POURED AROUND THE BASE TO AID IN STABILISATION OF THE PIT.
   - 3.f. PIT FLOORS ARE TO HAVE A 1% FALL TOWARDS THE OUTLET PIPE.
   - 3.g. ANY PIT REQUIRING MODIFICATION AFTER IT HAS BEEN POURED IN THE FACTORY OR DAMAGED IN TRANSPORT CANNOT BE USED.
   - 3.h. ALL WORK TO BE TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT INSPECTORS.

IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE DETAILED PIT DRAWINGS AND STRUCTURAL CERTIFICATION IF INSITU PITS ARE TO BE CONSTRUCTED.

Combined Survey By:

VINCE MORGAN (SURVEYORS) PTY. LTD.
CONSULTING SURVEYORS
P.O. Box 227, Penrith. 2751
Ph. (02) 4721 5293

Date: 12/01/23 EXISTING ELVIS DATA
Date: 27/07/23 File Name: EXISTING DETAIL SURVEY 24615T

RICHARD HOGAN & CO. PTY. LTD.
SURVEYING & DEVELOPMENT CONSULTANTS
Unit 41, 37 – 47 Borec Road
Penrith NSW 2750
Ph. (02) 4732 6599

Date: 23/08/17 File Name: EXISTING DETAIL SURVEY STAGE 1-3 INTERNAL 230817

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

CIVIL PLAN INDEX

PLAN NO.	PLAN NAME	REV
110265-09-DD1001	COVER SHEET	C
110265-09-DD1002	INDEX, NOTES & LEGEND	D
110265-09-DD1003	OVERALL SITE LAYOUT	C
110265-09-DD1004	SETOUT PLAN	C
110265-09-DD1005	PAVEMENT PLAN	C
110265-09-DD1006	TYPICAL SECTIONS	C
110265-09-DD1016	CUT & FILL PLAN DESIGN TO BULK EARTHWORKS	C
110265-09-DD1018	SITE SECTIONS SHEET 1	C
110265-09-DD1019	SITE SECTIONS SHEET 2	C
110265-09-DD1020	SITE SECTIONS SHEET 3	C
110265-09-DD1050	ENGINEERING PLAN SHEET 1	C
110265-09-DD1051	ENGINEERING PLAN SHEET 2	D
110265-09-DD1100	ROAD LONGITUDINAL SECTIONS SHEET 1	C
110265-09-DD1101	ROAD LONGITUDINAL SECTIONS SHEET 2	C
110265-09-DD1102	ROAD LONGITUDINAL SECTIONS SHEET 3	C
110265-09-DD1200	ROAD CROSS SECTIONS SHEET 1	C
110265-09-DD1201	ROAD CROSS SECTIONS SHEET 2	C
110265-09-DD1202	ROAD CROSS SECTIONS SHEET 1	C
110265-09-DD1203	ROAD CROSS SECTIONS SHEET 2	C
110265-09-DD1300	KERB RETURNS SHEET 1	D
110265-09-DD1301	KERB RETURNS SHEET 2	C
110265-09-DD1400	CATCHMENT PLAN SHEET 1	D
110265-09-DD1402	PIT SCHEDULE	D
110265-09-DD1450	DRAINAGE LONGITUDINAL SECTIONS SHEET 1	C
110265-09-DD1451	DRAINAGE LONGITUDINAL SECTIONS SHEET 2	C
110265-09-DD1452	DRAINAGE LONGITUDINAL SECTIONS SHEET 3	D
110265-09-DD1453	DRAINAGE LONGITUDINAL SECTIONS SHEET 4	C
110265-09-DD1454	DRAINAGE LONGITUDINAL SECTIONS SHEET 5	D
110265-09-DD1500	DRAINAGE CALCULATIONS SHEET 1	C
110265-09-DD1501	DRAINAGE CALCULATIONS SHEET 2	C
110265-09-DD1502	DRAINAGE CALCULATIONS SHEET 3	C
110265-09-DD1503	DRAINAGE CALCULATIONS SHEET 4	C
110265-09-DD1530	RAINGARDEN PLAN	C
110265-09-DD1531	RAINGARDEN CROSS SECTIONS	C
110265-09-DD1532	RAINGARDEN ACCESS LONG SECTION	B
110265-09-DD1550	SOIL & WATER MANAGEMENT PLAN	D
110265-09-DD1551	SOIL & WATER MANAGEMENT NOTES	C
110265-09-DD1600	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 1	D
110265-09-DD1601	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 2	D
110265-09-DD1602	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 3	D
110265-09-DD1603	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 4	D
110265-09-DD1604	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 5	D
110265-09-DD1605	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 6	D
110265-09-DD1606	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 7	D
110265-09-DD1607	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 8	D
110265-09-DD1608	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 9	D
110265-09-DD1609	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 10	C
110265-09-DD1610	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 11	C
110265-09-DD1611	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 12	C
110265-09-DD1612	RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 13	C
110265-09-DD1650	SIGNAGE & LINEMARKING PLAN SHEET 1	C
110265-09-DD1651	SIGNAGE & LINEMARKING PLAN SHEET 2	C
~~110265-09-DD1680~~	~~TURNING PATHS~~	~~B~~
110265-09-DD1700	DEMOLITION PLAN	C
110265-09-DD1800	TREE PLAN	C
110265-09-DD1820	CONTROLLED ACTIVITY APPROVAL WORKS PLAN	C
110265-09-DD1830	ULTIMATE RAINGARDEN PLAN	A
110265-09-DD1831	GPT DETAILS	A

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BEFORE YOU DIG www.byda.com.au

UTILITIES SHOWN ARE DIAGRAMMATIC ONLY, CONTRACTORS ARE RESPONSIBLE TO LOCATE AND AVOID DAMAGE TO THEM AS SPECIFIED BY EACH UTILITIES EXCAVATION GUIDE LINES & STANDARDS.

NOTE: UTILITIES SHOWN MAY NOT INCLUDE ALL SERVICES WITHIN THE LIMIT OF WORKS

	AMENDMENT	DES	DRN	CKD	APR	DATE
D	PLAN INDEX UPDATED	MMC	GA	MS	MS	11/11/24
C	PLAN INDEX UPDATED	MMC	GA	MS	MS	27/09/24
B	LEGEND, PLAN INDEX UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24

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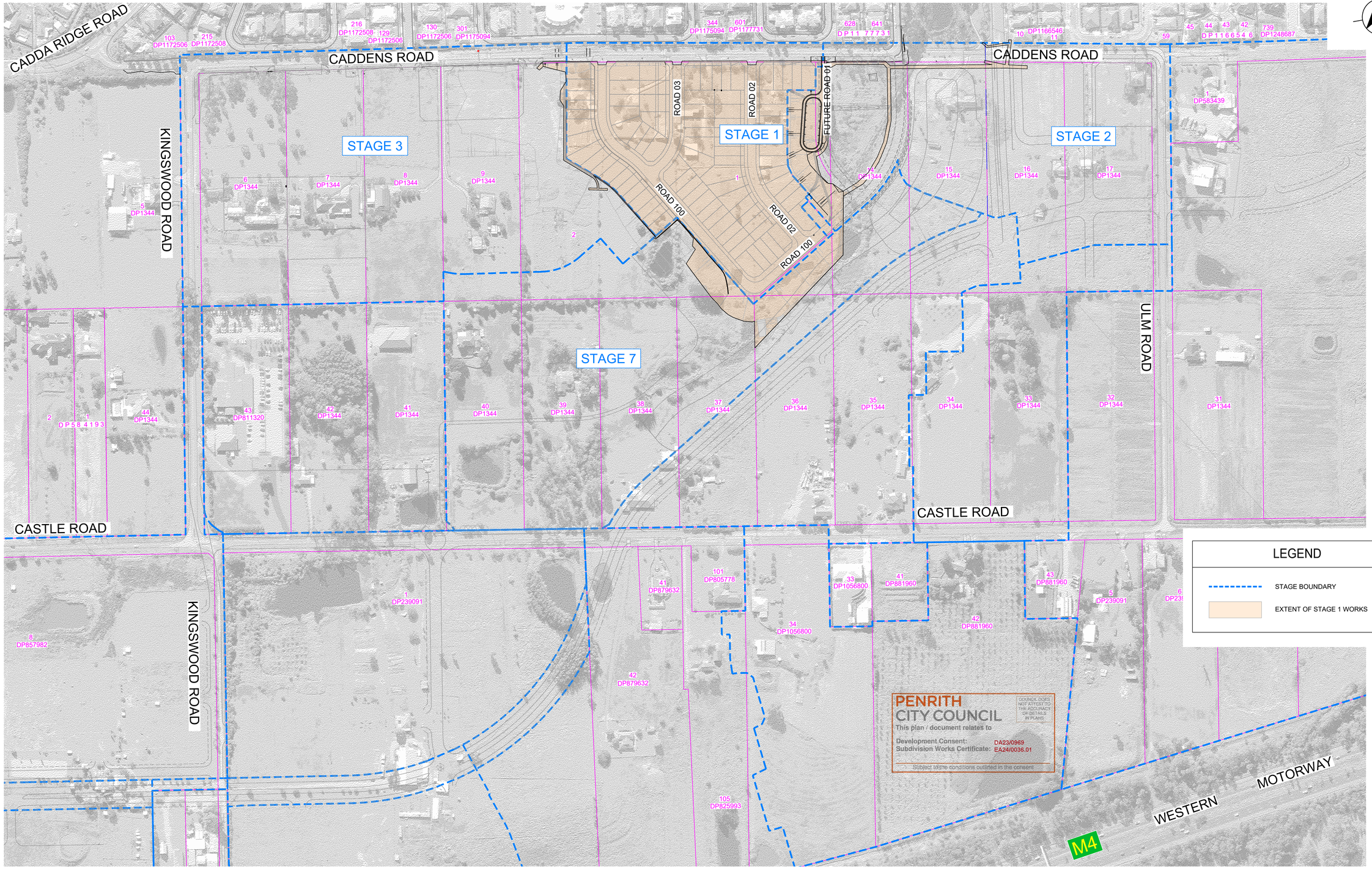
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
INDEX, NOTES & LEGEND

PROJECT No: 110265-09
SHEET No: DD1002

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1002 | D

Plotted: 13 November , 2024 3:47:48 PM File Name: C:\Synergy\WS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1001.dwg



WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

1:2000 (AT A1)
1:4000 (AT A3)
50 0 50 100
METRES

C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	L.O.W. UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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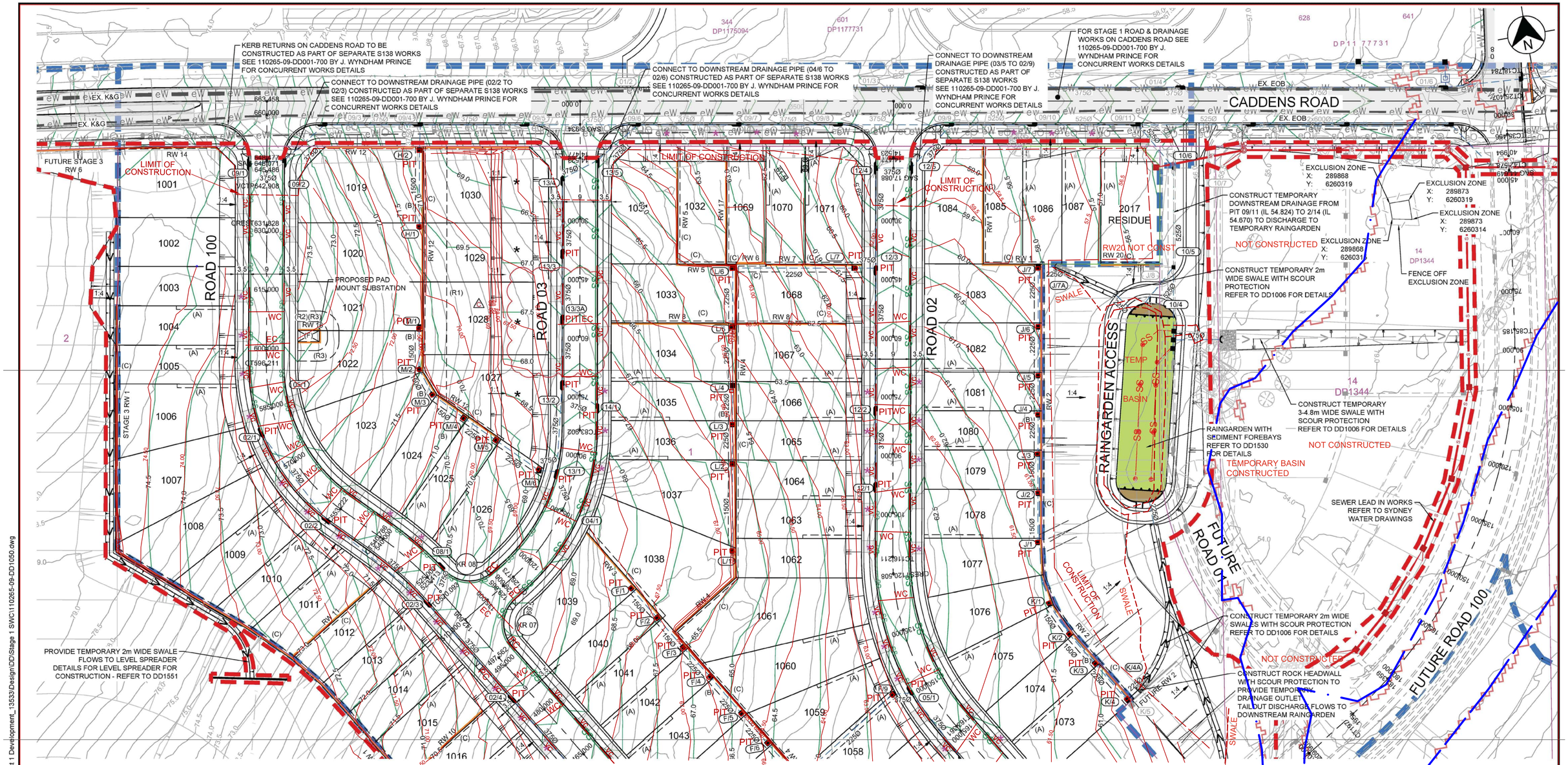
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
OVERALL SITE LAYOUT

PROJECT No: 110265-09
SHEET No: DD1003

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1003 | C

Plotted: 11 November , 2024 10:47:15 AM File Name: C:\Synergy\WS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1003.dwg



REFER TO DD1051 FOR CONTINUATION

NOTES:

1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.

2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD1300-1301 FOR DETAILS

3. REFER TO DD1006 FOR TYPICAL ROAD DETAILS

4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.

5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE.

NOTES:

6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD1700 FOR DEMOLITION PLAN

7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHER WISE NOTED ON PLAN. VC'S TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS ARE NOTED WITH *

8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH >1.5m

9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD1600-1608

NOTES:

10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD1600-1612 FOR DETAILS

11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT

12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND LANDSCAPE ARCHITECT'S PLANS

13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.

NOTES:

14. ALL PRAM RAMPS TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002

15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.

(A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
(B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
(C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
(F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
(R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
(R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
(R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)

WORKS AS EXECUTED AS SHOWN IN RED
NAME: CRAIG S LONARD
SIGNATURE:
CAPACITY: REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025
CONTACT ADMIN@HOGANCO.COM.AU

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DENOTES 1 IN 100 YEAR FLOOD LEVEL LOCATION FROM JWP SWC DRAWING DATED 24.10.2022

1:500 (AT A1)
1:1000 (AT A3)
10 0 10 20 30
METRES

C	PIT 13/3 A ADDED	MMC	GA	MS	MS	27/09/24
B	BATTERS, DRAINAGE, WALLS, EASEMENTS, CONTOURS, NOTES UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		09/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION
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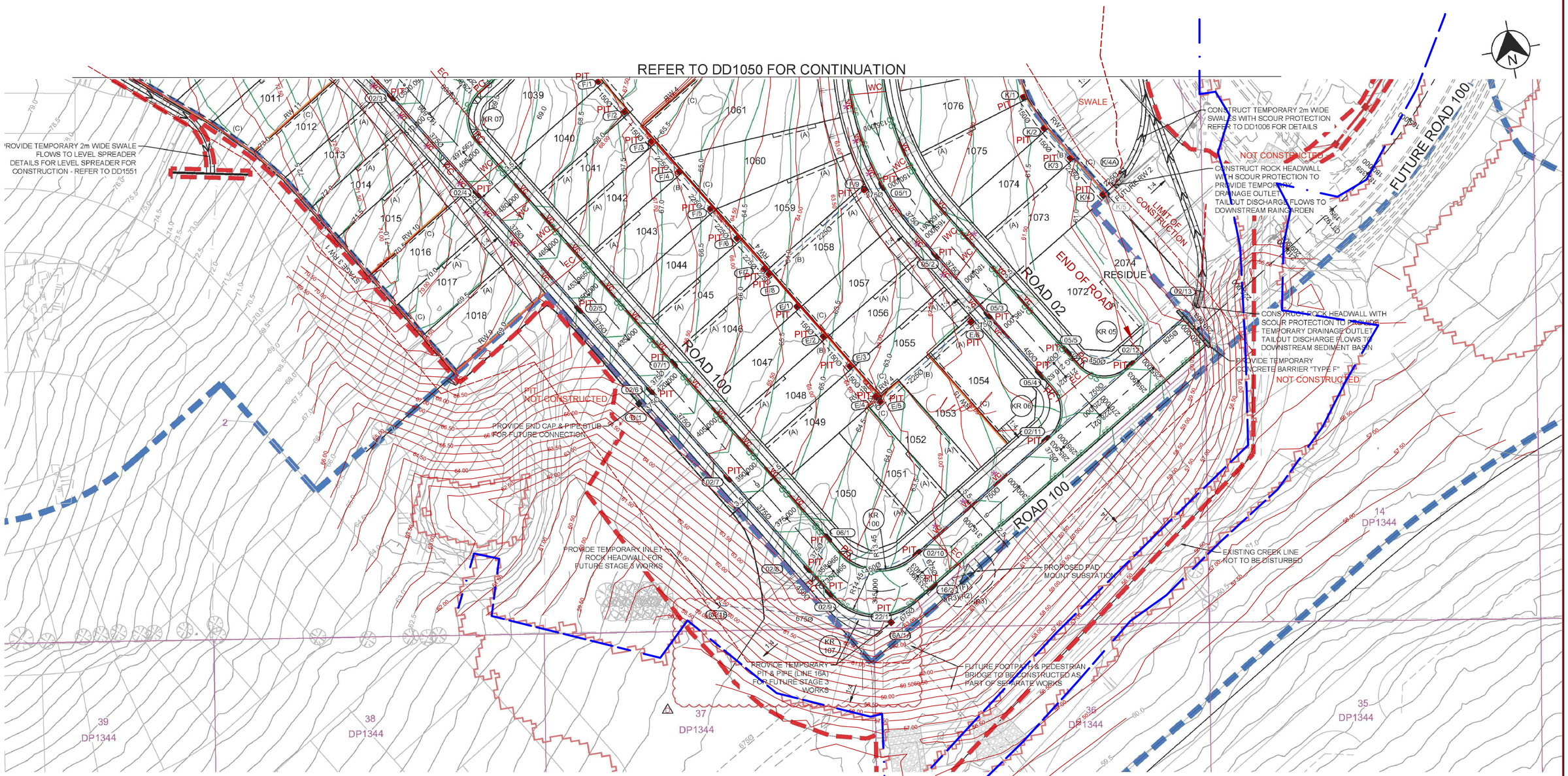
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
ENGINEERING PLAN
SHEET 1

PROJECT No: 110265-09
SHEET No: DD1050

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1050 | C

Plotted: 11 November , 2024 10:47:28 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1050.dwg



NOTES:

1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.

2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD1300-1301 FOR DETAILS

3. REFER TO DD1006 FOR TYPICAL ROAD DETAILS

4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.

5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE.

NOTES:

6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD1700 FOR DEMOLITION PLAN

7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHER WISE NOTED ON PLAN. VC'S TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS ARE NOTED WITH *

8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH >1.5m

9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD1600-1608

NOTES:

10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD1600-1612 FOR DETAILS

11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT

12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND LANDSCAPE ARCHITECT'S PLANS

13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.

NOTES:

14. ALL PRAM RAMPS TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002

15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.

(A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
(B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
(C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
(F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
(R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
(R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
(R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)

WORKS AS EXECUTED AS SHOWN IN RED
NAME: CRAIG S LONARD
SIGNATURE:
CAPACITY: REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025
CONTACT ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
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DENOTES 1 IN 100 YEAR FLOOD LEVEL LOCATION FROM JWP SWC DRAWING DATED 24.10.2022

1:500 (AT A1)
1:1000 (AT A3)
10 0 10 20 30
METRES

D	TEMPORARY FUTURE INLET FOR STAGE 3 WORKS	MMC	GA	MS	MS	11/11/24
C	PITS SHIFTED; PRAM RAMPS UPDATED	MMC	GA	MS	MS	27/09/24
B	BATTERS, DRAINAGE, WALLS, EASEMENTS, CONTOURS, NOTES UPDA	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		09/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
ENGINEERING PLAN
SHEET 2

PROJECT No: 110265-09
SHEET No: DD1051

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1051 | D

Plotted: 11 November 2024 1:52:36 PM File Name: C:\SynergyWS\data\ASJ\WP04\110265 - 09 - OHN Development Application_13533\Design\DD\Stage 1 SWC\110265-09-DD1050.dwg

LEGEND

- HGL GRADE 5YR (20% AEP)
- FINISHED DESIGN SURFACE

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

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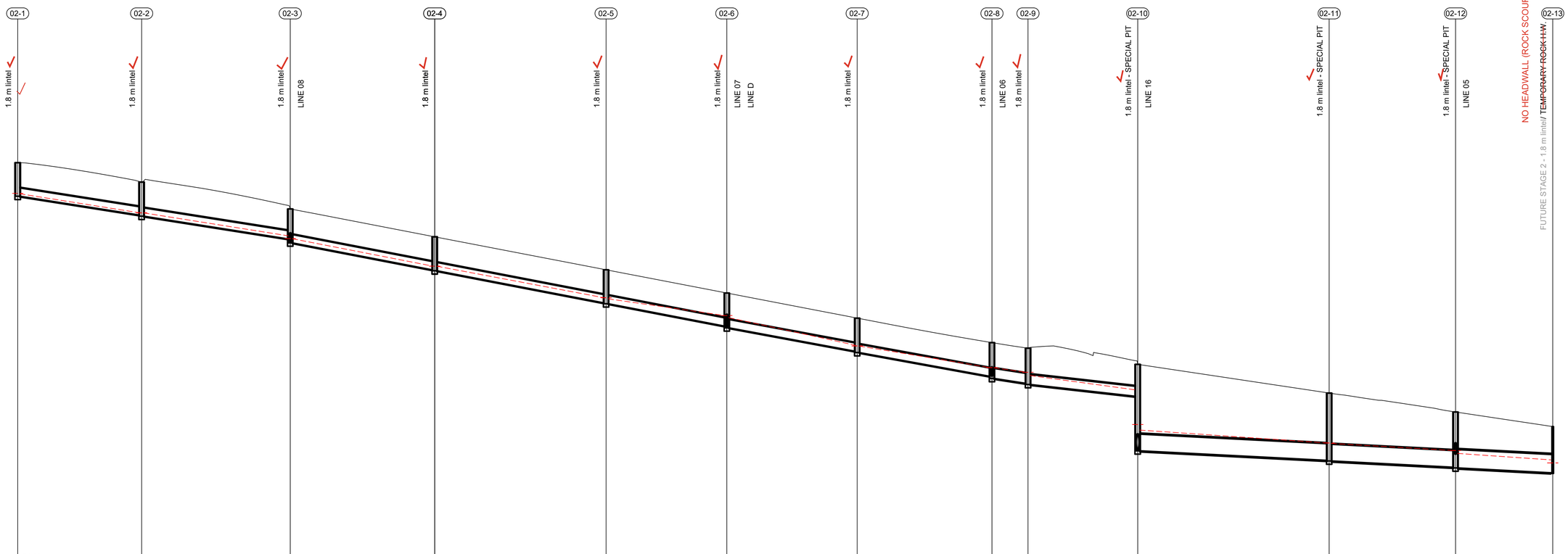
NOTES:

1. DRAINAGE PIPE SYSTEM CATERS FOR 20% AEP UNLESS OTHERWISE NOTED
2. PITS & PIPES AROUND RAINGARDEN ARE SHOWN ON DD1530. THESE ARE NOT INCLUDED IN THE DRAINAGE LONG SECTIONS



DATUM (m)	54.00																									
PEAK FLOW (L/s)	52		101		162		198		241		317		324		339	341		1026		1068		1313				
PIPE SIZE (mm)	375		375		375		375		375		375		375		450	450		750		750		825				
PIPE CLASS	RRJ4		RRJ2		RRJ2		RRJ2		RRJ2		RRJ2		RRJ2		RRJ2	RRJ4		RRJ2		RRJ4		RRJ2				
PIPE GRADE (%)	~~3.0~~	2.9%	3.1		~~3.0~~	3.7%	~~3.0~~	4.0%	~~3.7~~	3.6%	~~3.6~~	3.7%	~~3.5~~	3.7%	2.2% ~~2.7~~	~~2.2~~	1.9%	~~1.0~~	1.1%	1.0		1.0				
PIPE COVER MINIMUM	1.10		1.10		1.10		1.10		1.10		1.10		1.10		1.10	1.11		2.24		1.70		1.22				
FULL PIPE VELOCITY (m/s)	1.78		2.51		3.00		3.08		3.09		3.18		3.51		2.72	2.47		2.33		2.82		2.85				
HGL GRADE (%)	3.08		3.09		3.8		3.68		2.78		4.23		3.2		2.48	2.62		1.35		1.13		1.33				
WAE																										
HYDRAULIC GRADE LINE	70.73		69.87		68.84	68.71		67.47	67.47		66.05	66.00		65.25	65.15		63.91	63.88		62.90	62.90	62.70	62.55		61.90	60.09		59.51	59.49		59.17	59.04		58.75	58.60
INVERT LEVEL	~~70.62~~	70.64	~~69.77~~	~~69.72~~ 69.79	68.73	~~68.52~~ 68.53	~~68.70~~	~~67.30~~	~~67.27~~ 67.29		~~65.82~~	~~65.78~~ 65.77		~~64.77~~	~~64.70~~ 64.71		~~63.64~~	~~63.58~~ 63.55		~~62.51~~	~~62.42~~ 62.29	~~62.19~~	~~62.14~~ 62.11		~~61.61~~	~~59.16~~ 59.18		~~58.73~~	~~58.70~~ 58.68		~~58.42~~	~~58.39~~ 58.37		~~58.17~~	~~58.44~~
DESIGN SURFACE LEVEL	~~72.43~~	72.15	~~71.26~~	71.31	~~70.05~~	70.10	~~68.79~~	68.85			~~67.31~~	67.34		~~66.26~~	66.32		~~65.13~~	65.17		~~64.03~~	64.05	~~63.78~~	63.84		~~63.05~~	63.08		~~61.76~~	61.80		~~60.91~~	60.93		~~60.25~~	
ROAD CHAINAGE	579.64		553.93		519.44		486.93		448.38		421.21		391.89		361.57	354.43		329.57		286.50		258.07			236.21	
PIPE CHAINAGE	0.00		27.88		61.32		93.82		132.37		159.54		188.86		219.19	227.29		251.98		295.05		323.48			345.35	

LINE 02

V 1:100 (AT A1) 2 1 0 1 2 3 4 5 6 7 8 9 10 METRES
H 1:500 (AT A1) 10 0 10 20 30 40 50 METRES

C	LINE 2 UPDATED	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
DRAINAGE LONGITUDINAL SECTIONS
SHEET 1

PROJECT No: 110265-09
SHEET No: DD1450

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1450 | C

Plotted: 11 November, 2024 10:47:33 AM File Name: C:\Synergy\WS\data\ASJ\WP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1450.dwg

LEGEND

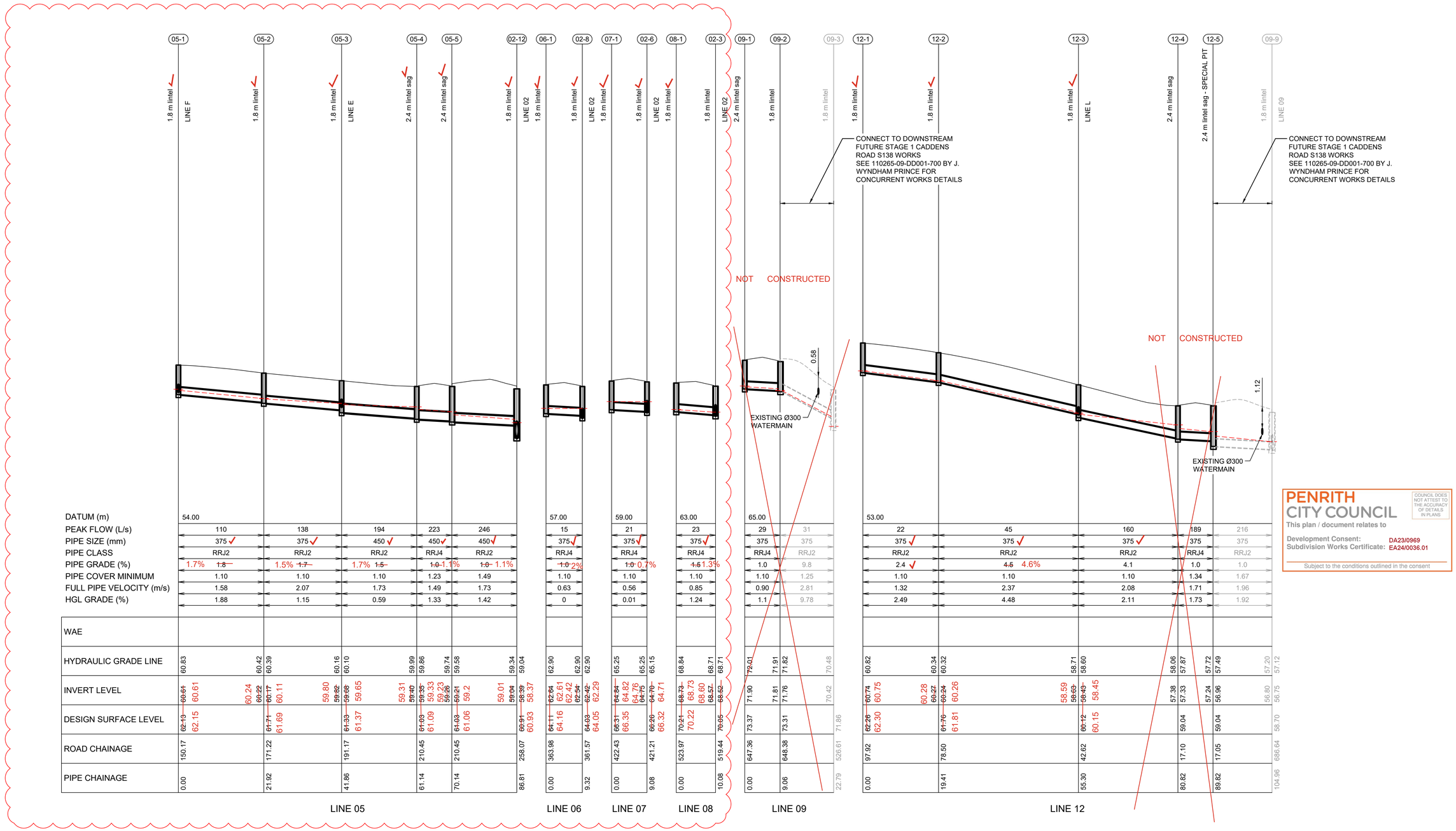
- HGL GRADE 5YR (20% AEP)
- FINISHED DESIGN SURFACE

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

NOTES:

1. DRAINAGE PIPE SYSTEM CATERS FOR 20% AEP UNLESS OTHERWISE NOTED
2. PITS & PIPES AROUND RAINGARDEN ARE SHOWN ON DD1530. THESE ARE NOT INCLUDED IN THE DRAINAGE LONG SECTIONS



	05-1	05-2	05-3	05-4	05-5	02-12	06-1	02-8	07-1	02-6	08-1	02-3	09-1	09-2	09-3	12-1	12-2	12-3	12-4	12-5	09-9
DATUM (m)	54.00						57.00		59.00		63.00		65.00			53.00					
PEAK FLOW (L/s)	110		138		194	223		246		15		21		23		29	31	22	45	160	189	216
PIPE SIZE (mm)	375 ✓		375 ✓		450 ✓	450 ✓		450 ✓		375 ✓		375 ✓		375 ✓		375	375	375 ✓	375 ✓	375 ✓	375	375
PIPE CLASS	RRJ2		RRJ2		RRJ2	RRJ4		RRJ2		RRJ4		RRJ4		RRJ4		RRJ4	RRJ2	RRJ2	RRJ2	RRJ2	RRJ4	RRJ2
PIPE GRADE (%)	1.7% ~~1.8~~		1.5% ~~1.7~~		1.7% ~~1.5~~	~~1.0~~ 1.1%		~~1.0~~ 1.1%		~~1.0~~ 2%		~~1.0~~ 0.7%		~~1.5~~ 1.3%		1.0	9.8	2.4 ✓	~~4.5~~ 4.6%	4.1	1.0	1.0
PIPE COVER MINIMUM	1.10		1.10		1.10	1.23		1.49		1.10		1.10		1.10		1.10	1.25	1.10	1.10	1.10	1.34	1.67
FULL PIPE VELOCITY (m/s)	1.58		2.07		1.73	1.49		1.73		0.63		0.56		0.85		0.90	2.81	1.32	2.37	2.08	1.71	1.96
HGL GRADE (%)	1.88		1.15		0.59	1.33		1.42		0		0.01		1.24		1.1	9.78	2.49	4.48	2.11	1.73	1.92
WAE																						
HYDRAULIC GRADE LINE	60.83	60.42	60.39	60.16	60.10	59.99	59.86	59.74	59.58	59.34	59.04	62.90	62.90	65.25	65.25	65.15	68.84	68.71	68.71	72.01	71.91	71.82	70.48	60.82	60.34	60.32	58.71	58.60	58.06	57.87	57.72	57.49	57.20	57.12
INVERT LEVEL	~~60.64~~ 60.61	60.24 ~~60.22~~	~~60.17~~ 60.11	59.80 ~~59.82~~	~~59.68~~ 59.65	59.31 ~~59.40~~	~~59.35~~ 59.33	59.23 ~~59.26~~	~~59.21~~ 59.2	59.01 ~~59.04~~	~~56.39~~ 58.37	~~62.64~~ 62.61	62.42 ~~62.54~~	~~64.84~~ 64.76	64.82 ~~64.75~~	~~64.70~~ 64.71	~~68.73~~ 68.73	68.60 ~~68.57~~	~~68.62~~	71.90	71.81	71.76	70.42	~~60.74~~ 60.75	60.28 ~~60.27~~	~~60.24~~ 60.26	58.59 ~~58.63~~	~~58.43~~ 58.45	57.38	57.33	57.24 ~~57.22~~	56.96	56.80	56.75
DESIGN SURFACE LEVEL	~~62.13~~ 62.15		~~61.71~~ 61.69		~~61.33~~ 61.37		~~61.03~~ 61.09		~~61.03~~ 61.06		~~60.91~~ 60.93	~~64.11~~ 64.16	64.03 ~~62.42~~ 64.05	~~66.31~~ 66.35		~~66.20~~ 66.32	~~70.21~~ 70.22	~~70.05~~		73.37	73.31	71.86	~~62.26~~ 62.30		~~61.76~~ 61.81		~~60.12~~ 60.15		59.04		59.04		58.70
ROAD CHAINAGE	150.17		171.22		191.17		210.45		210.45		258.07	363.98	361.57	422.43	421.21		523.97	519.44		647.36	648.38	526.61		97.92		78.50		42.62		17.10		17.05		686.64
PIPE CHAINAGE	0.00		21.92		41.86		61.14		70.14		86.81	0.00	9.32	0.00	9.08		0.00	10.08		0.00	9.06	22.79		0.00		19.41		55.30		80.82		89.82		104.96
	LINE 05									LINE 06		LINE 07		LINE 08			LINE 09							LINE 12										

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C	LINES 5, 6, 7 & 8 UPDATED	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
DRAINAGE LONGITUDINAL SECTIONS
SHEET 2

PROJECT No: 110265-09
SHEET No: DD1451

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1451 | C

Plotted: 11 November , 2024 10:47:33 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1450.dwg

LEGEND

- HGL GRADE 5YR (20% AEP)
- FINISHED DESIGN SURFACE

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025
CONTACT: ADMIN@HOGANCO.COM.AU

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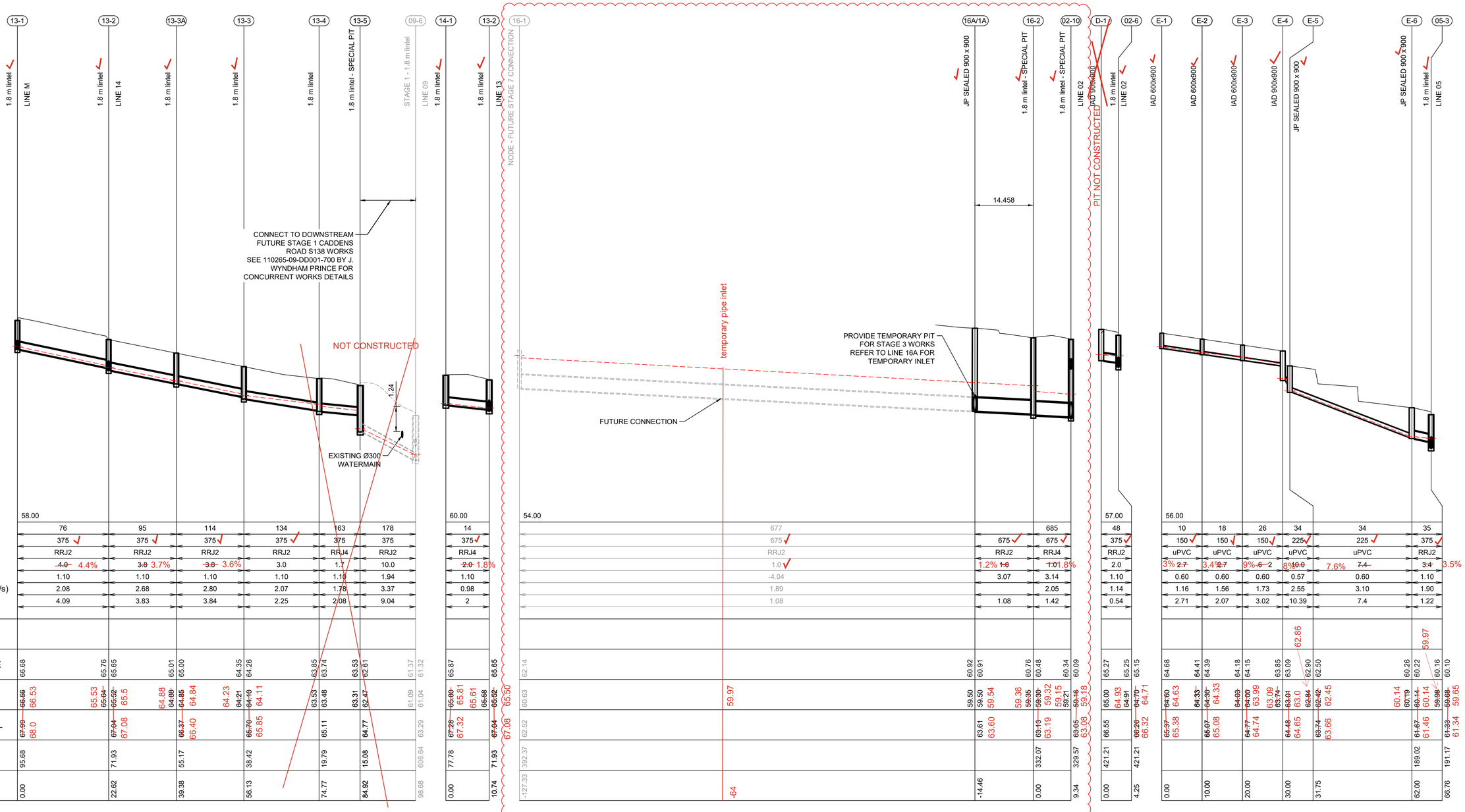
NOTES:

1. DRAINAGE PIPE SYSTEM CATERS FOR 20% AEP UNLESS OTHERWISE NOTED
2. PITS & PIPES AROUND RAINGARDEN ARE SHOWN ON DD1530. THESE ARE NOT INCLUDED IN THE DRAINAGE LONG SECTIONS



D	LINE 16 LONG SECTION UPDATED	MMC	GA	MS	MS	11/11/24
C	LINES 13, 14, 16, D & E UPDATED	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
DRAINAGE LONGITUDINAL SECTIONS
SHEET 3

PROJECT No: 110265-09
SHEET No: DD1452

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1452 | D

Plotted: 11 November , 2024 2:01:58 PM File Name: C:\SynergyWS\data\AS\JWP04\110265 - 09 - OHN Development Application_13533\Design\DD\Stage 1 SW\C110265-09-DD1450.dwg

LEGEND

- HGL GRADE 5YR (20% AEP)
- FINISHED DESIGN SURFACE

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

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SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

NOTES:

1. DRAINAGE PIPE SYSTEM CATERS FOR 20% AEP UNLESS OTHERWISE NOTED

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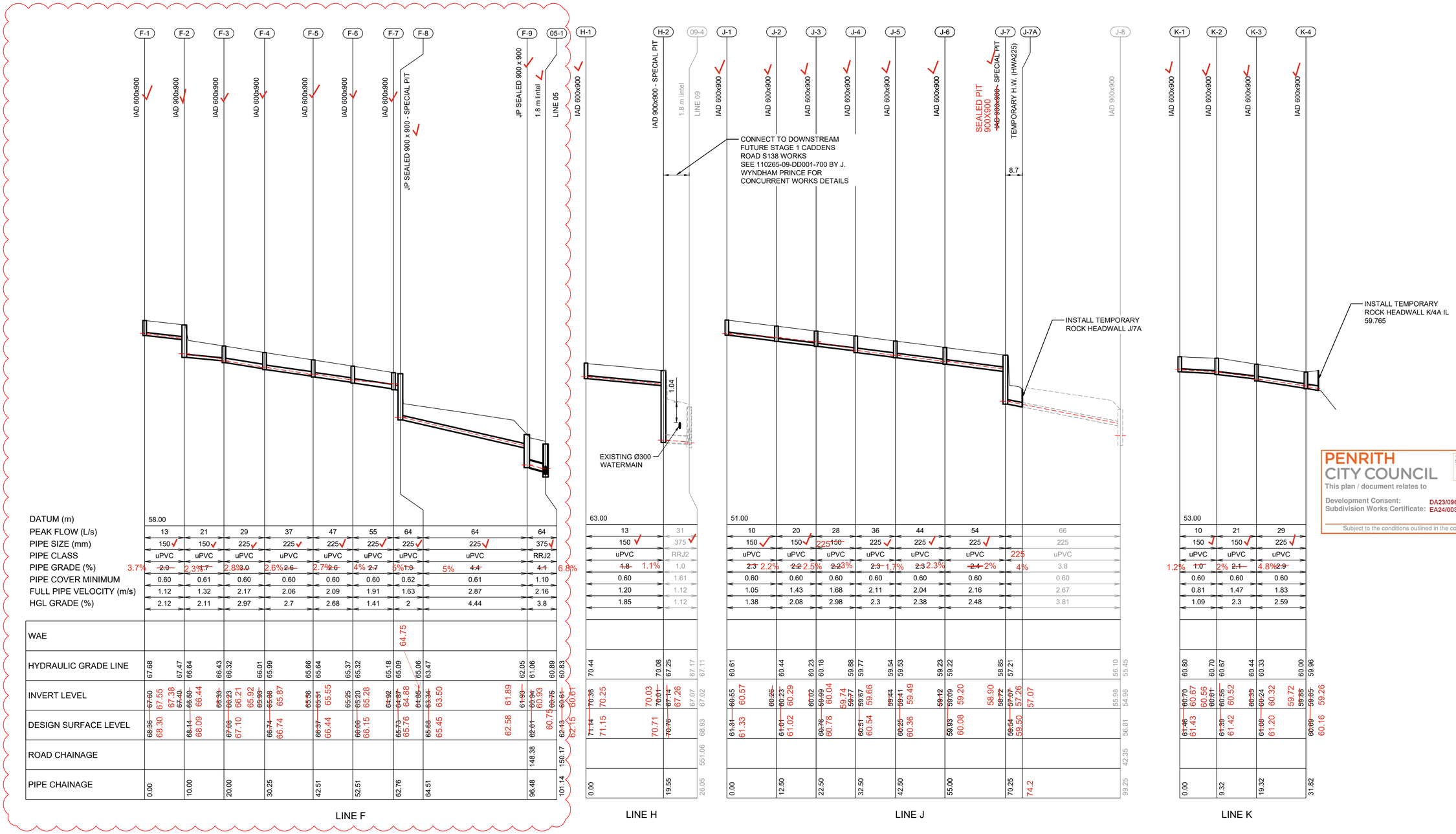

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C	LINE F UPDATED	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
DRAINAGE LONGITUDINAL SECTIONS
SHEET 4

PROJECT No: 110265-09
SHEET No: DD1453

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1453 | C

Plotted: 11 November , 2024 10:47:33 AM File Name: C:\SynergyWS\data\ASJWP07110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1450.dwg

LEGEND

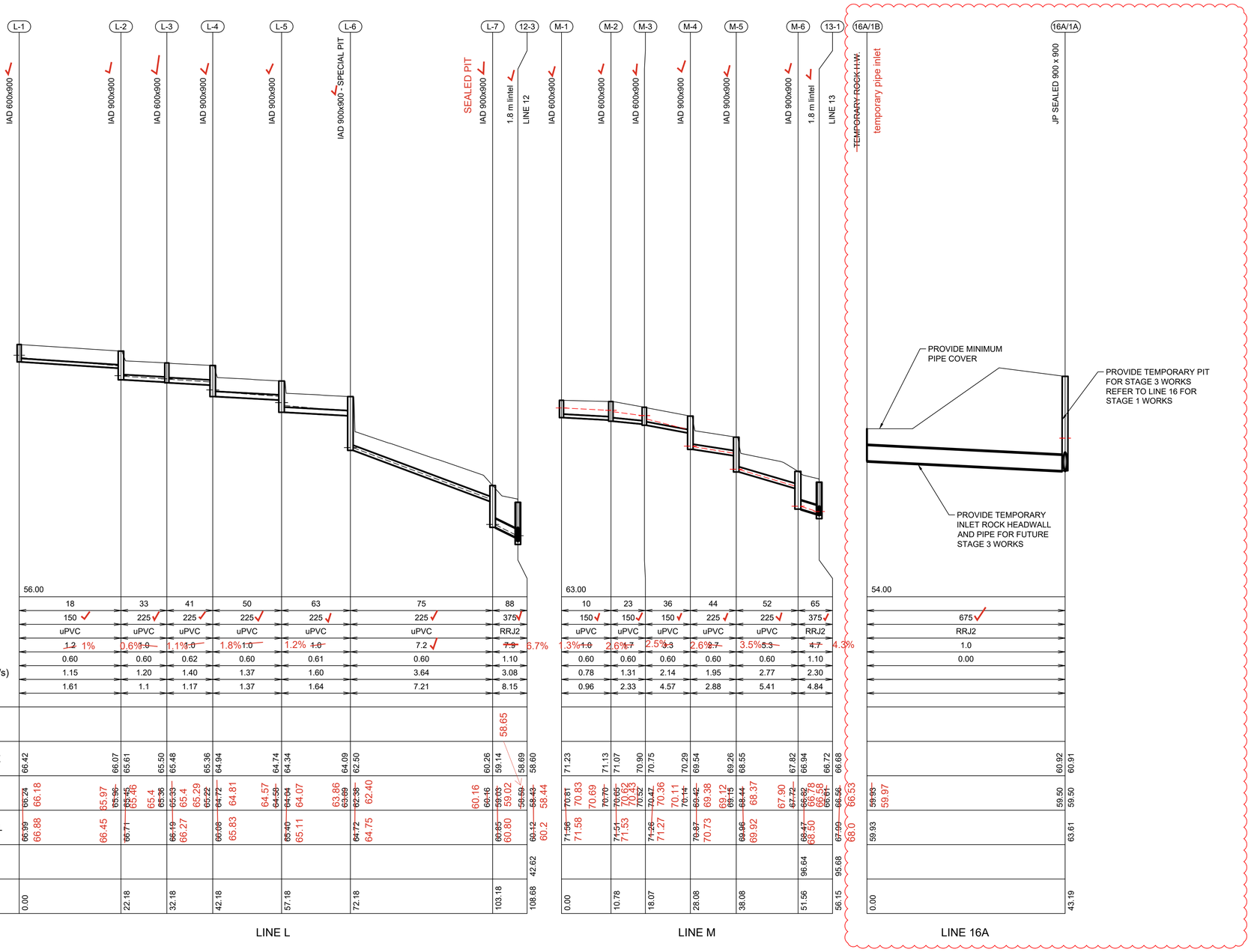
- HGL GRADE 5YR (20% AEP)
- FINISHED DESIGN SURFACE

NOTES:

1. DRAINAGE PIPE SYSTEM CATERS FOR 20% AEP UNLESS OTHERWISE NOTED
2. PITS & PIPES AROUND RAINGARDEN ARE SHOWN ON DD1530. THESE ARE NOT INCLUDED IN THE DRAINAGE LONG SECTIONS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS



	L-1	L-2	L-3	L-4	L-5	L-6	L-7	12-3
DATUM (m)	56.00							
PEAK FLOW (L/s)	18	33	41	50	63	75	88	
PIPE SIZE (mm)	150	225	225	225	225	225	375	
PIPE CLASS	uPVC	uPVC	uPVC	uPVC	uPVC	uPVC	RRJ2	
PIPE GRADE (%)	~~1.2~~ 1%	~~1.0~~ 0.6%	~~1.0~~ 1.1%	~~1.0~~ 1.8%	~~1.0~~ 1.2%	7.2	~~7.9~~ 6.7%	
PIPE COVER MINIMUM	0.60	0.60	0.62	0.60	0.61	0.60	1.10	
FULL PIPE VELOCITY (m/s)	1.15	1.20	1.40	1.37	1.60	3.64	3.08	
HGL GRADE (%)	1.61	1.1	1.17	1.37	1.64	7.21	8.15	
WAE							58.65	
HYDRAULIC GRADE LINE	66.42	66.07 / 65.61	65.50 / 65.48	65.36 / 64.94	64.74 / 64.34	64.09 / 62.50	60.26 / 59.14	58.69 / 58.60
INVERT LEVEL	~~66.24~~ 66.18	65.97 / ~~65.96~~ 65.46	~~65.45~~ 65.4 / ~~65.36~~ 65.29	~~65.22~~ ~~64.72~~ 64.81	64.57 / ~~64.50~~ ~~64.04~~ 64.07	63.86 / ~~63.09~~ ~~62.38~~ 62.40	60.16 / ~~60.16~~ ~~59.03~~ 59.02	~~59.69~~ ~~58.43~~ 58.44
DESIGN SURFACE LEVEL	~~66.99~~ 66.88	66.45 / ~~66.71~~	~~66.19~~ 66.27 / ~~66.08~~ 65.83	~~65.40~~ 65.11	~~64.72~~ 64.75		~~60.85~~ 60.80	~~60.12~~ 60.2
ROAD CHAINAGE								42.62
PIPE CHAINAGE	0.00	22.18	32.18	42.18	57.18	72.18	103.18	108.68

	M-1	M-2	M-3	M-4	M-5	M-6	13-1
DATUM (m)	63.00						
PEAK FLOW (L/s)	10	23	36	44	52	65	
PIPE SIZE (mm)	150	150	150	225	225	375	
PIPE CLASS	uPVC	uPVC	uPVC	uPVC	uPVC	RRJ2	
PIPE GRADE (%)	~~1.0~~ 1.3%	~~1.7~~ 2.6%	~~3.3~~ 2.5%	~~2.7~~ 2.6%	~~5.3~~ 3.5%	~~4.7~~ 4.3%	
PIPE COVER MINIMUM	0.60	0.60	0.60	0.60	0.60	1.10	
FULL PIPE VELOCITY (m/s)	0.78	1.31	2.14	1.95	2.77	2.30	
HGL GRADE (%)	0.96	2.33	4.57	2.88	5.41	4.84	
WAE							
HYDRAULIC GRADE LINE	71.23 / 71.13	71.07 / 70.90	70.75 / 70.29	69.54 / 69.26	69.55 / 67.82	66.94 / 66.72	66.68
INVERT LEVEL	~~70.81~~ 70.83	70.69 / ~~70.70~~	~~70.03~~ 70.62	70.43 / ~~70.22~~	~~70.47~~ 70.36	70.11 / ~~70.14~~	~~69.42~~ 69.38
DESIGN SURFACE LEVEL	~~71.56~~ 71.58		~~71.51~~ 71.53	~~71.26~~ 71.27		~~70.87~~ 70.73	~~69.96~~ 69.92
ROAD CHAINAGE						96.64	95.68
PIPE CHAINAGE	0.00	10.78	18.07	28.08	38.08	51.56	56.15

	16A/1B	16A/1A
DATUM (m)	54.00	
PEAK FLOW (L/s)		
PIPE SIZE (mm)	675	
PIPE CLASS	RRJ2	
PIPE GRADE (%)	1.0	
PIPE COVER MINIMUM	0.00	
FULL PIPE VELOCITY (m/s)		
HGL GRADE (%)		
WAE		
HYDRAULIC GRADE LINE		60.92 / 60.91
INVERT LEVEL	~~59.93~~ 59.97	59.50 / 59.50
DESIGN SURFACE LEVEL	59.93	63.61
ROAD CHAINAGE		
PIPE CHAINAGE	0.00	43.19

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS
Subject to the conditions outlined in the consent

D	LINE 16A LONG SECTION ADDED	MMC	GA	MS	MS	11/11/24
C	LINE M UPDATED	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

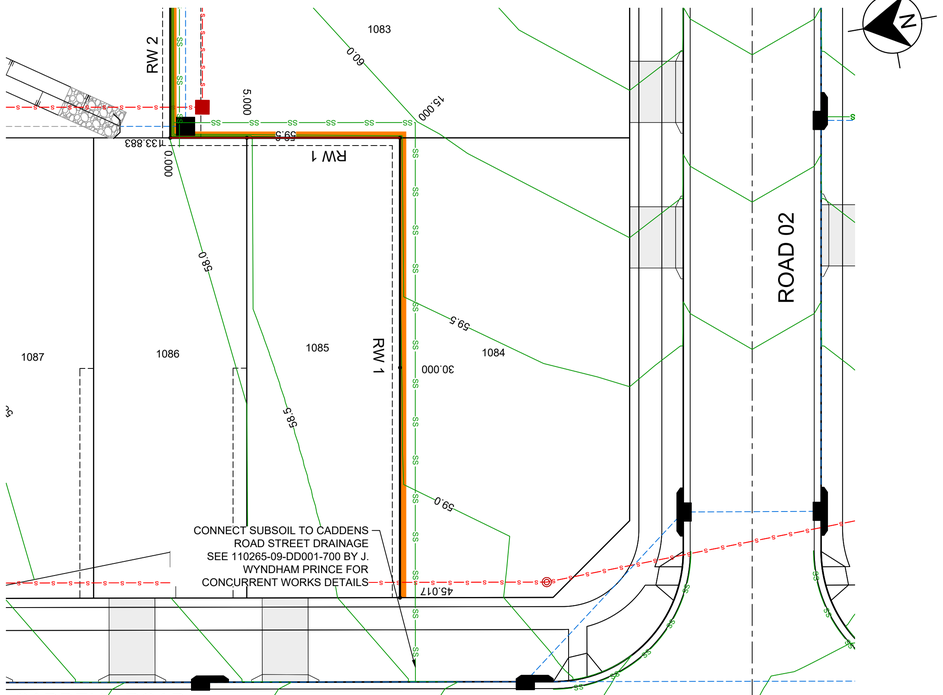
STATUS: ISSUE FOR CONSTRUCTION
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
DRAINAGE LONGITUDINAL SECTIONS
SHEET 5

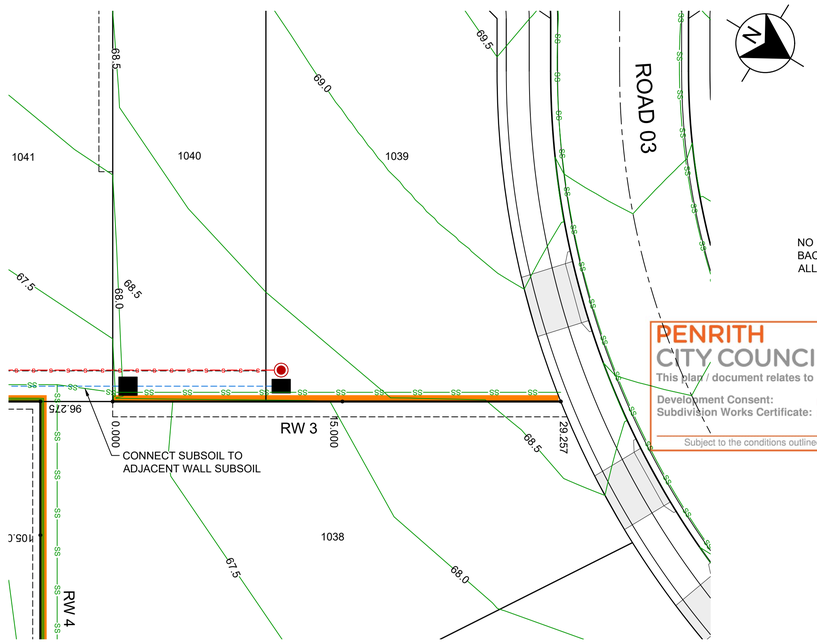
PROJECT No: 110265-09
SHEET No: DD1454

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1454 | D

Plotted: 11 November, 2024 2:02:31 PM File Name: C:\SynergyWS\data\ASJWP04\110265 - 09 - OHN Development Application_13533\Design\DD\Stage 1 SWC\110265-09-DD1450.dwg



CADDENS ROAD



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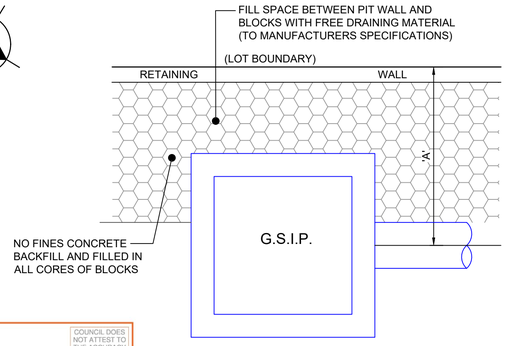


	WALL HEIGHT "H" 0-1500mm
OFFSET 'A' WITH 150mm PIPE	750mm
OFFSET 'A'	1000mm

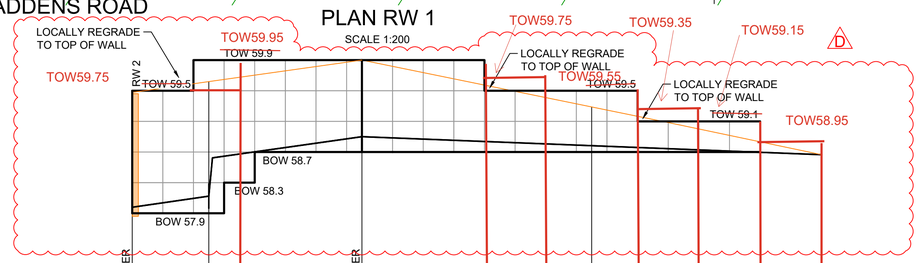
TYPICAL INTERALLOTMENT PIT SETBACK

SCALE 1:20

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

PLAN RW 1

SCALE 1:200



LOT CORNER | LOT BDY | LOT CORNER | LOT BDY

DATUM 55.0

TOE OF WALL GROUND LEVELS	58.009	58.0	58.41	58.923	58.54	58.51	58.804	58.51	58.55	58.48	58.35	58.688
TOP OF WALL GROUND LEVELS	59.508	59.45	59.61	59.923	59.55	59.46	59.302	59.23	59.04	58.83	58.66	58.688
CHAINAGE	0.000	5.000	6.83	15.000	21.0	27.0	30.000	33.2	37.1	41.2	45.017	

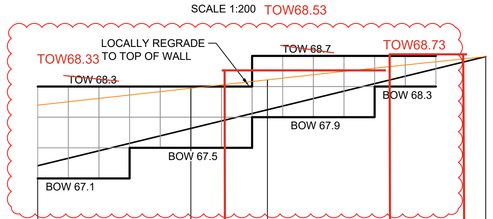
LONGITUDINAL SECTION RW 1

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 1			
CHAINAGE	EASTING	NORTHING	BEARING
0	289777.98	6260318.74	279°49'01.42"
15	289763.2	6260321.3	
30	289765.76	6260336.07	9°49'01.32"
45.017	289768.32	6260350.88	9°49'01.32"

PLAN RW 3

SCALE 1:200



LOT BDY | LOT BDY

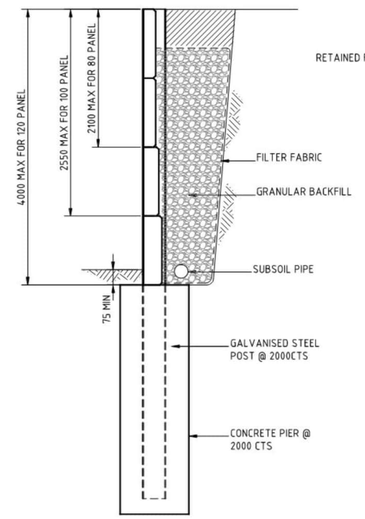
DATUM 64.0

TOE OF WALL GROUND LEVELS	67.309	67.30	67.65	68.040	67.9	68.5	68.734
TOP OF WALL GROUND LEVELS	68.100	68.03	68.18	68.430	68.32	68.65	68.734
CHAINAGE	0.000	10.000	12.75	15.000	20.85	29.01	29.257

LONGITUDINAL SECTION RW 3

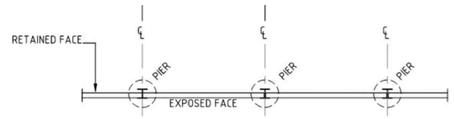
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 3			
CHAINAGE	EASTING	NORTHING	BEARING
0	289667.25	6260246.12	328°15'22.39"
15	289659.35	6260258.88	328°15'22.39"
29.26	289651.85	6260271	328°15'22.39"



TYPICAL RETAINING WALL SECTION

1:20



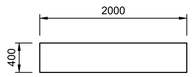
TYPICAL RETAINING WALL PLAN

1:50

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 29.05.2025 (underlined)
CONTACT: ADMIN@HOGANCO.COM.AU

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL



SLEEPER WALL DETAILS

SCALE NTS

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 1

PROJECT No: 110265-09
SHEET No: DD1600

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1600 | D

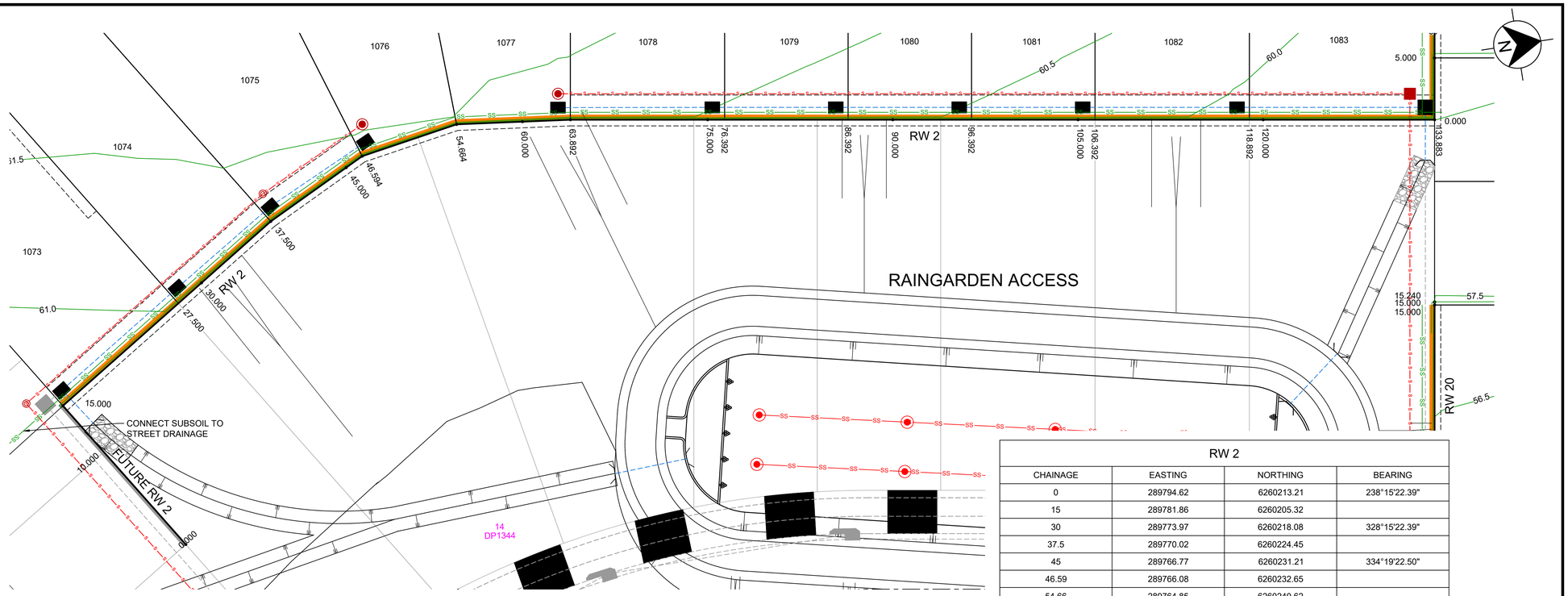
Plotted: 14 November , 2024 8:54:53 AM File Name: C:\Synergy\WSdata\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C110265-09-DD1600.dwg

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

NOTES:

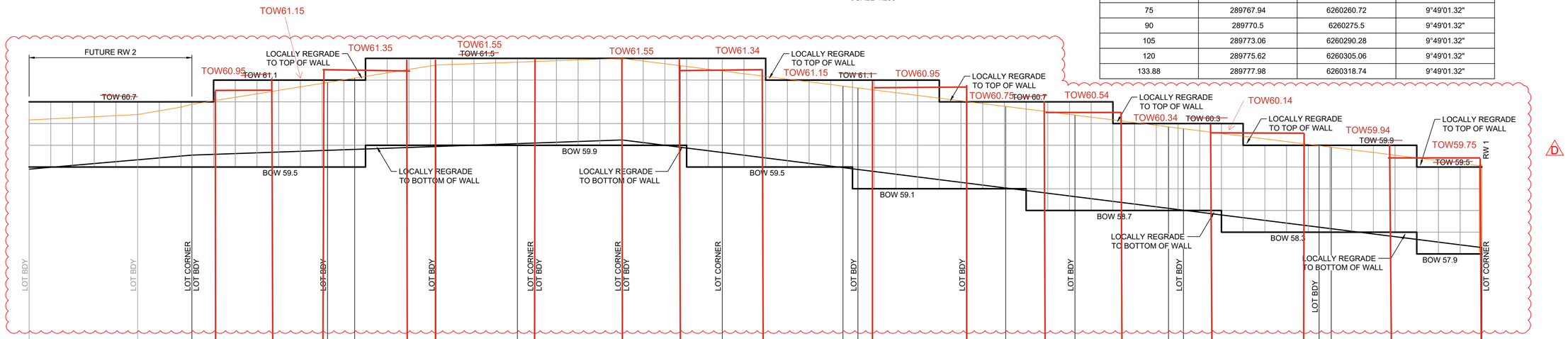
- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS



PLAN RW 2

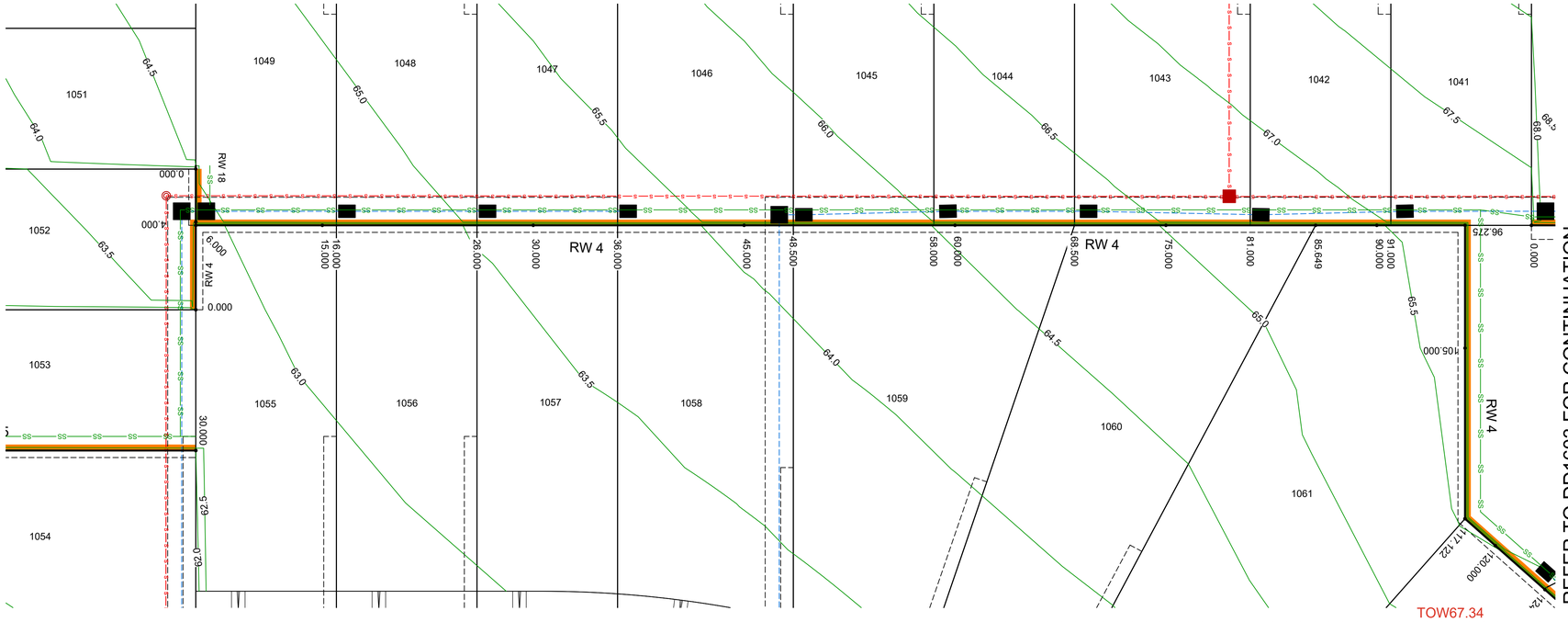
SCALE 1:200

RW 2			
CHAINAGE	EASTING	NORTHING	BEARING
0	289794.62	6260213.21	238°15'22.39"
15	289781.86	6260205.32	
30	289773.97	6260218.08	328°15'22.39"
37.5	289770.02	6260224.45	
45	289766.77	6260231.21	334°19'22.50"
46.59	289766.08	6260232.65	
54.66	289764.85	6260240.62	
60	289765.54	6260245.92	7°29'41.14"
63.89	289766.05	6260249.77	
75	289767.94	6260260.72	9°49'01.32"
90	289770.5	6260275.5	9°49'01.32"
105	289773.06	6260290.28	9°49'01.32"
120	289775.62	6260305.06	9°49'01.32"
133.88	289777.98	6260318.74	9°49'01.32"



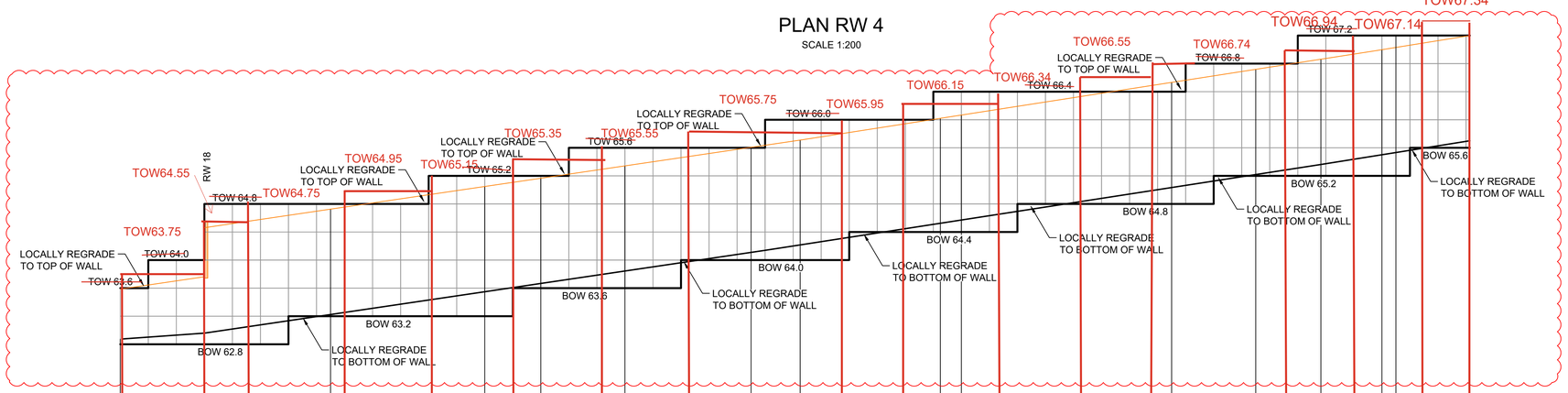
DATUM 56.0

| | | |



PLAN RW 4

SCALE 1:200



DATUM 60.0

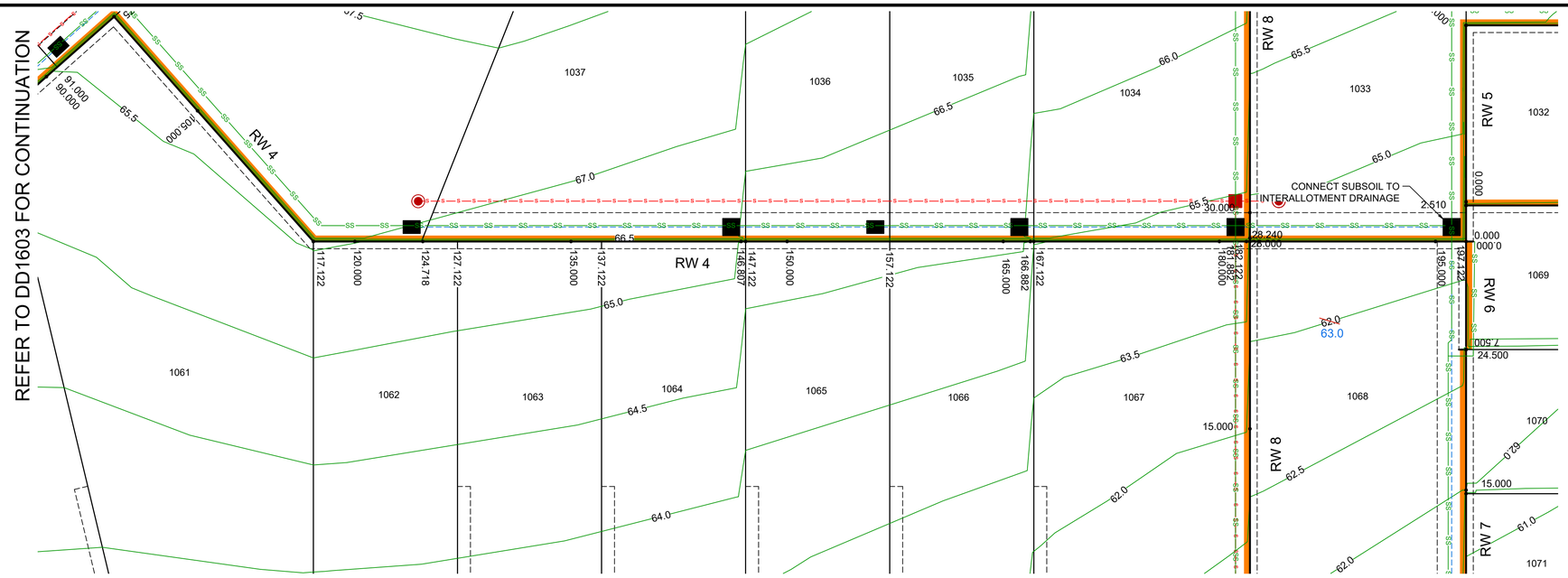
| | | |

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

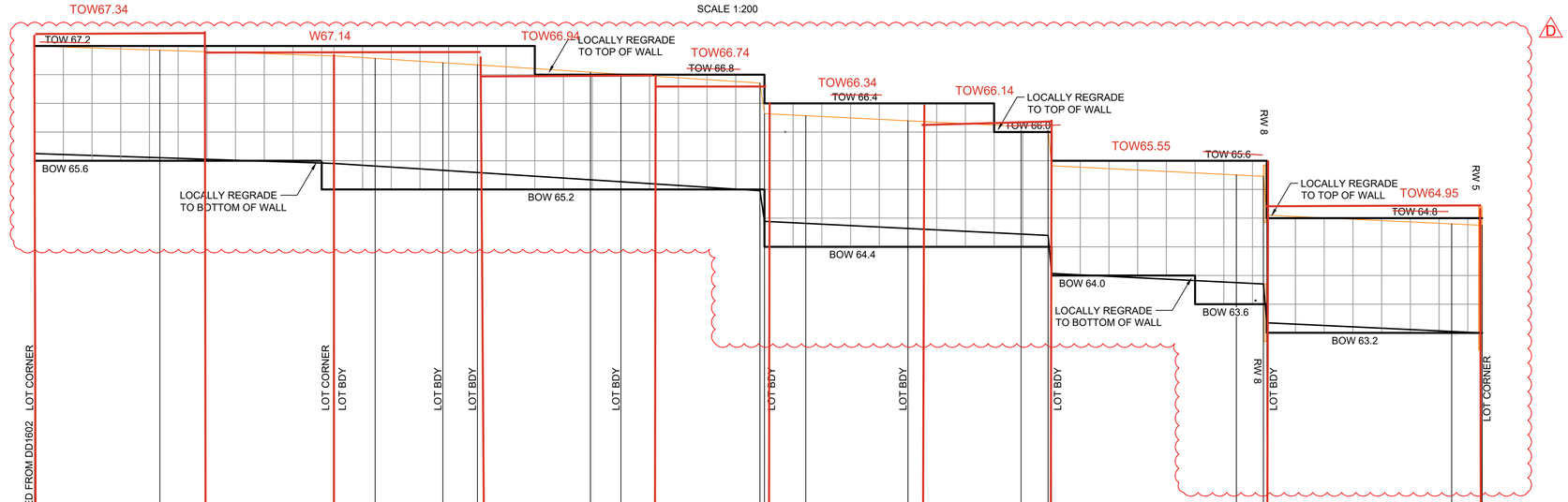
NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS



PLAN RW 4

SCALE 1:200



WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
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CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025& 29.05.25(underlined)
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

DATUM 60.0

	CONTINUED FROM DD1602	LOT CORNER				LOT CORNER	LOT BDY		LOT BDY	LOT BDY			LOT BDY			LOT BDY			LOT BDY			LOT BDY			RW 8	LOT BDY			LOT CORNER		
TOE OF WALL / GROUND LEVELS	~~65.681~~	65.7		65.624		65.6	65.51 / ~~65.543~~		65.507				65.40		65.316			65.2		65.164	~~65.238~~	64.97	64.708			64.56		64.559	64.541	64.010	64.25		63.882	63.864	~~63.922~~	63.35		63.201		63.25	63.183
TOP OF WALL / GROUND LEVELS	~~67.180~~	67.15		67.123		67.09	66.95 / ~~67.045~~		67.009				66.9		66.816			66.7		66.665	~~66.737~~	66.4	66.209			66.0		66.060	66.042	~~65.511~~	65.5		65.383	65.365	~~64.023~~	64.8		64.701		64.7	64.683
CHAINAGE	96.275			105.000		108.4	117.122		120.000		124.718	127.122	127.3		135.000	137.122		141.1		146.807	147.122	147.4	150.000		157.122	157.5		165.000	166.882	167.122			180.000	181.882	182.122			195.000		197.122	

63.9 65.0 65.75

LONGITUDINAL SECTION RW 4

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

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Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
Subject to the conditions outlined in the consent
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS

	AMENDMENT	DES	DRN	CKD	APR	DATE
D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

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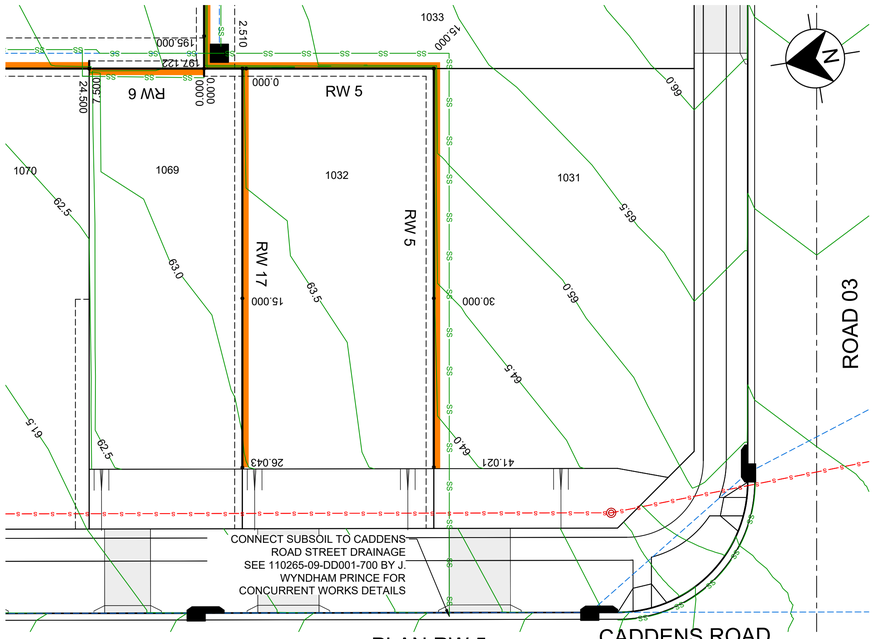
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 4

PROJECT No: 110265-09
SHEET No: DD1603

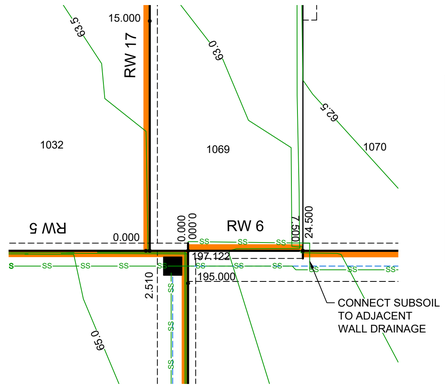
AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1603 | D

Plotted: 14 November , 2024 8:54:55 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1600.dwg



PLAN RW 5

SCALE 1:200

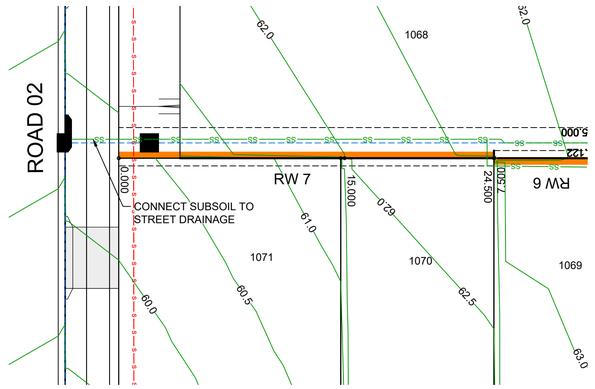


PLAN RW 6

SCALE 1:200

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL



PLAN RW 7

SCALE 1:200

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE:17.04.2025 & 09.05.2025 & 29.05.2025 (underlined)
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
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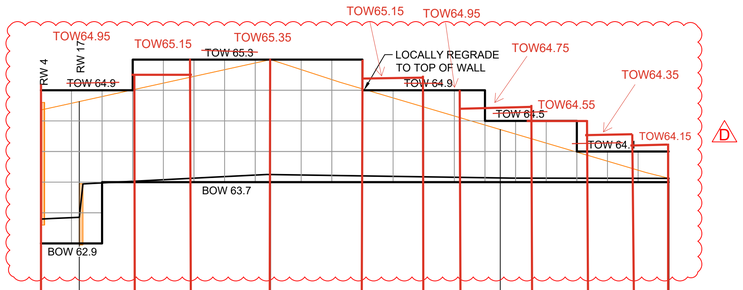
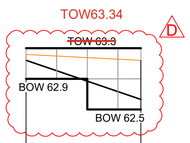
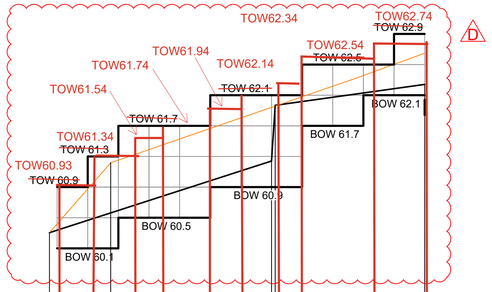






DATUM 60.0

TOE OF WALL	63.30				63.6																					
GROUND LEVELS	63.259	63.66	63.719	63.33	63.07	63.58	63.66	63.65	63.75	63.65	63.81		63.65		63.72	63.72	63.796		63.7		63.66	63.67	63.764	63.6
TOP OF WALL		64.70	64.793	64.68	65.1	65.1	65.3	65.1	65.25	65.3	65.313		65.0	64.90	64.85	64.65	64.428		64.5		64.35	64.3	63.764	
GROUND LEVELS	64.683									63.65														
CHAINAGE	0.000		2.510		4.8		8.9				15.000		19.0		23.1	27.1	30.000		31.1		35	39	41.021	

LONGITUDINAL SECTION RW 5

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

DATUM 59.0

TOE OF WALL	63.63	63.1		62.6
GROUND LEVELS	63.257			62.072
TOP OF WALL	63.2	63.1		62.6
GROUND LEVELS	63.162			62.072
CHAINAGE	0.000			7.500

LONGITUDINAL SECTION RW 6

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

DATUM 57.0

TOE OF WALL	60.346																							
GROUND LEVELS		60.26	60.64	60.70	60.95	61.07	61.282	62.009	62.017	61.31	61.97	61.97	62.03	62.282
TOP OF WALL	60.346	60.2	60.604	60.64	60.70	61.6	61.76	61.983	61.999	62.017	61.99	62.23	62.36	62.40	62.072
GROUND LEVELS		60.70	61.258	61.2	61.27										
CHAINAGE	0.000	0.9	2.9	4.000	4.9	6.9	11.0	13.0	14.500	14.740	15.000	16.5	20.5	24.500

LONGITUDINAL SECTION RW 7

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 5

CHAINAGE	EASTING	NORTHING	BEARING
0	289701.10	6260331.90	279°49'01.32"
15	289686.32	6260334.46	
30	289688.89	6260349.24	9°49'01.32"
41.02	289690.76	6260360.1	9°49'01.32"

RW 6

CHAINAGE	EASTING	NORTHING	BEARING
0	289701.1	6260331.9	99°49'01.32"
7.50	289708.49	6260330.62	99°49'01.32"

RW 7

CHAINAGE	EASTING	NORTHING	BEARING
0	289732.63	6260326.45	279°49'01.32"
15	289717.85	6260329	279°49'01.32"
24.5	289708.49	6260330.62	279°49'01.32"

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

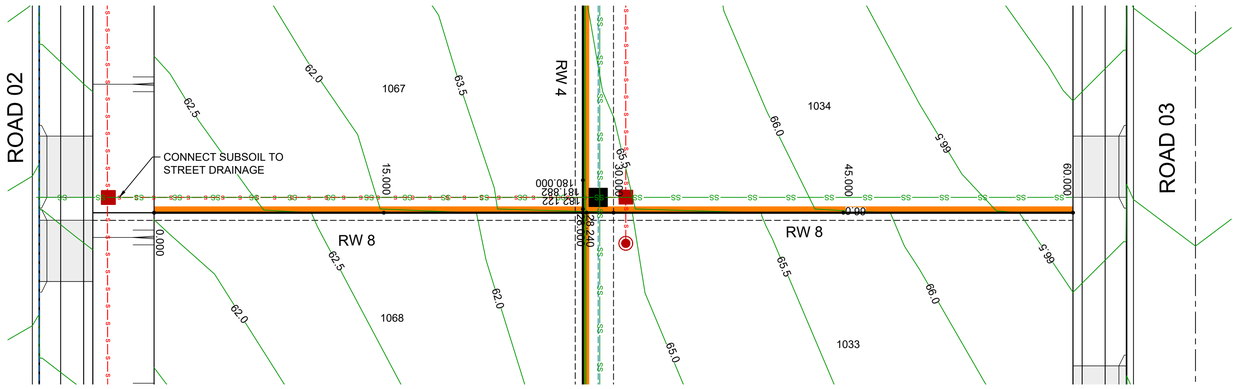
STATUS: ISSUE FOR CONSTRUCTION
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 5

PROJECT No: 110265-09
SHEET No: DD1604

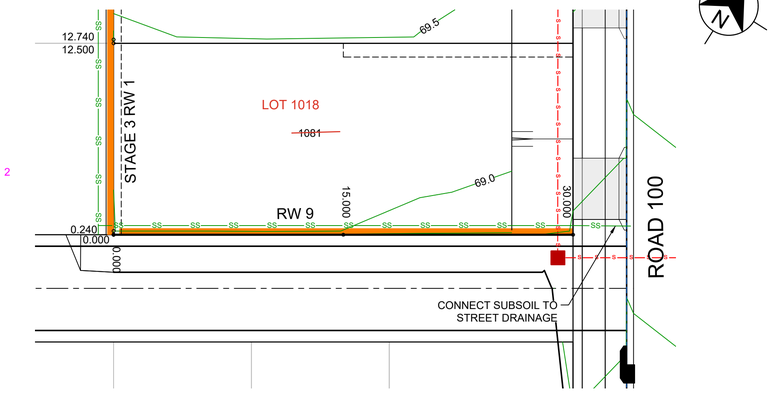
AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1604 | D

Plotted: 14 November , 2024 8:54:56 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C\110265-09-DD1600.dwg



PLAN RW 8

SCALE 1:200

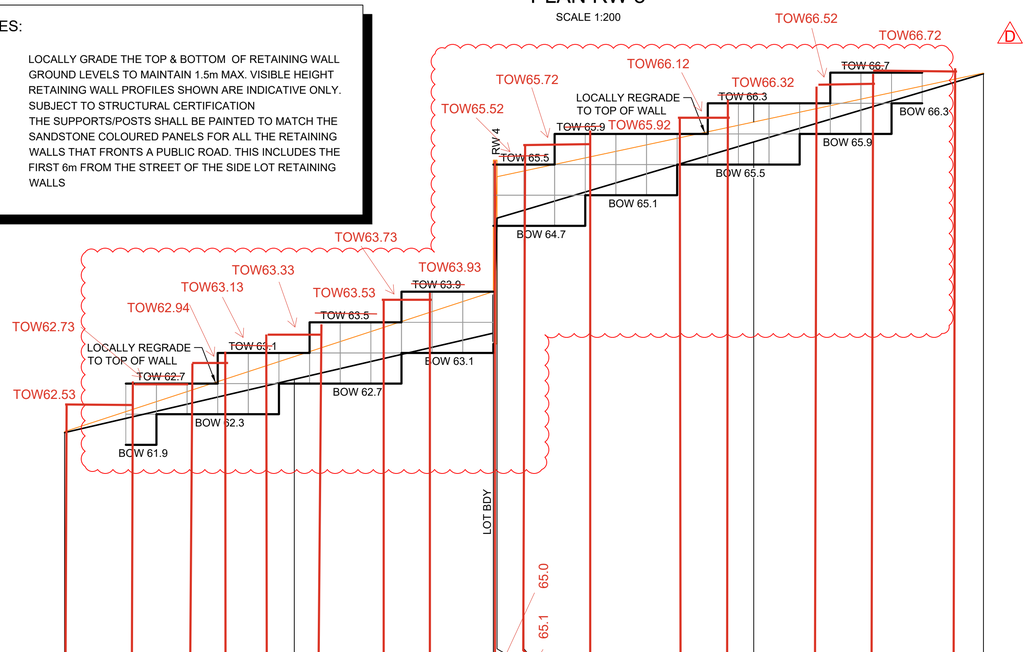


PLAN RW 9

SCALE 1:200

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS



DATUM 59.0

TOE OF WALL GROUND LEVELS	62.023	61.12		62.0	62.32		62.5	62.45	62.719	62.85	63.0	63.1		63.2	63.323	64.823	64.927	65.05	65.2	65.4	65.62	65.818	65.8	66.1		66.45	66.708
TOP OF WALL GROUND LEVELS	62.036	61.24		62.4	62.67		62.93	62.93	63.015	63.2	63.6	63.65		63.9	63.864	65.364	65.439	65.6	65.7	65.9	66.05	66.079	66.2	66.35		66.6	66.718
CHAINAGE	0.000			4.0	8.0		12.0	14.0	15.000	16.0	20.0	22.0			28.000	28.240	30.000		34.0	40.0	44.0	45.000	48.0	52.0		59.0	60.000

LONGITUDINAL SECTION RW 8

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

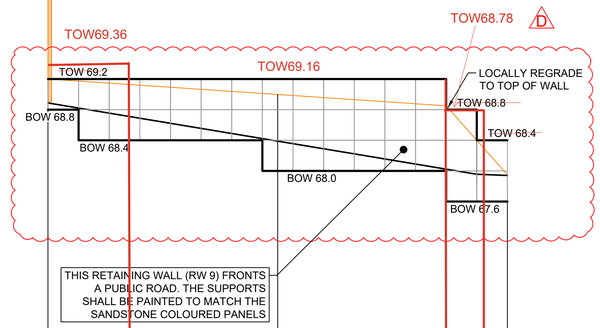
RW 8			
CHAINAGE	EASTING	NORTHING	BEARING
0	289726.13	6260312.35	279°49'01.32"
15	289711.35	6260314.9	279°49'01.32"
30	289696.57	6260317.46	279°49'01.32"
45	289681.79	6260320.02	279°49'01.32"
60	289667.01	6260322.58	279°49'01.32"

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL



DATUM 65.0

TOE OF WALL GROUND LEVELS	68.887	68.90	69.0	68.389	67.8	68.022	67.8	67.940
TOP OF WALL GROUND LEVELS	69.196	68.99	68.98	68.998	68.5	68.849	67.92	67.949
CHAINAGE	0.000		10.0	15.000		26.000	28.0	30.000

LONGITUDINAL SECTION RW 9

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 9			
CHAINAGE	EASTING	NORTHING	BEARING
0	289613.14	6260189.13	58°15'22.39"
15	289625.89	6260197.02	58°15'22.39"
30	289638.65	6260204.91	58°15'22.39"

PENRITH CITY COUNCIL
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Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
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1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION
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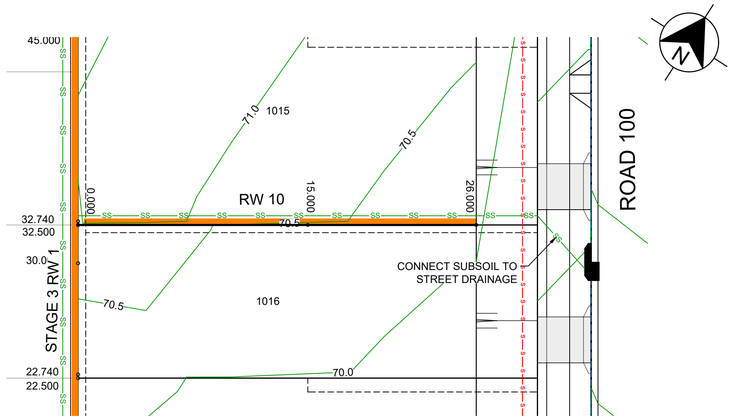
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 6

PROJECT No: 110265-09
SHEET No: DD1605

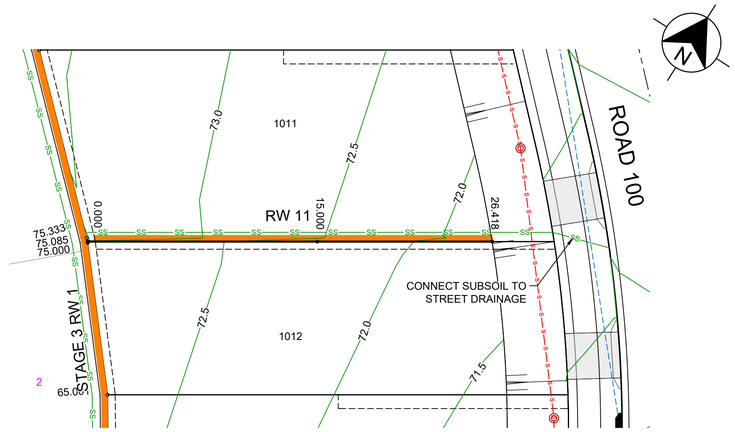
AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1605 | D

Plotted: 14 November , 2024 8:54:56 AM File Name: C:\Synergy\WS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1600.dwg



PLAN RW 10

SCALE 1:200



PLAN RW 11

SCALE 1:200

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
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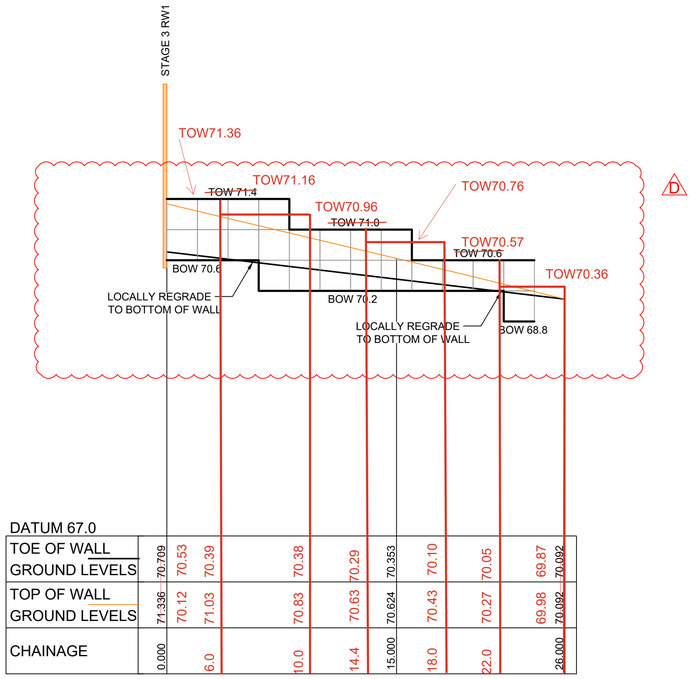

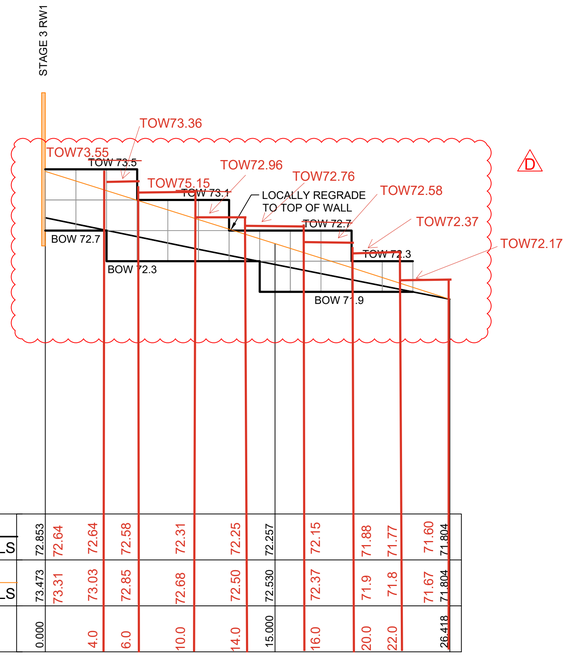

DATUM 67.0

TOE OF WALL GROUND LEVELS	70.709	70.53	70.39	70.38	70.29	70.353	70.10	70.05	69.87	70.092
TOP OF WALL GROUND LEVELS	71.336	70.12	71.03	70.83	70.63	70.624	70.43	70.27	69.98	70.092
CHAINAGE	0.000	6.0	10.0	14.4	15.000	18.0	22.0	26.000		

LONGITUDINAL SECTION RW 10

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

DATUM 69.0

TOE OF WALL GROUND LEVELS	72.853	72.64	72.64	72.58	72.31	72.25	72.257	72.15	71.88	71.77	71.60	71.804
TOP OF WALL GROUND LEVELS	73.473	73.31	73.03	72.85	72.68	72.50	72.530	72.37	71.9	71.8	71.67	71.804
CHAINAGE	0.000	4.0	6.0	10.0	14.0	15.000	16.0	20.0	22.0	26.418		

LONGITUDINAL SECTION RW 11

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 10			
CHAINAGE	EASTING	NORTHING	BEARING
0	289596.04	6260216.77	58°15'22.39"
15	289608.8	6260224.66	58°15'22.39"
26	289618.15	6260230.45	58°15'22.39"

RW 11			
CHAINAGE	EASTING	NORTHING	BEARING
0	289572.48	6260252.17	58°15'22.39"
15	289585.24	6260260.06	58°15'22.39"
26.42	289594.95	6260266.07	58°15'22.39"

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

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1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 7

PROJECT No: 110265-09
SHEET No: DD1606

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1606 | D

Plotted: 14 November , 2024 8:54:57 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C\110265-09-DD1600.dwg

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

NOTES:

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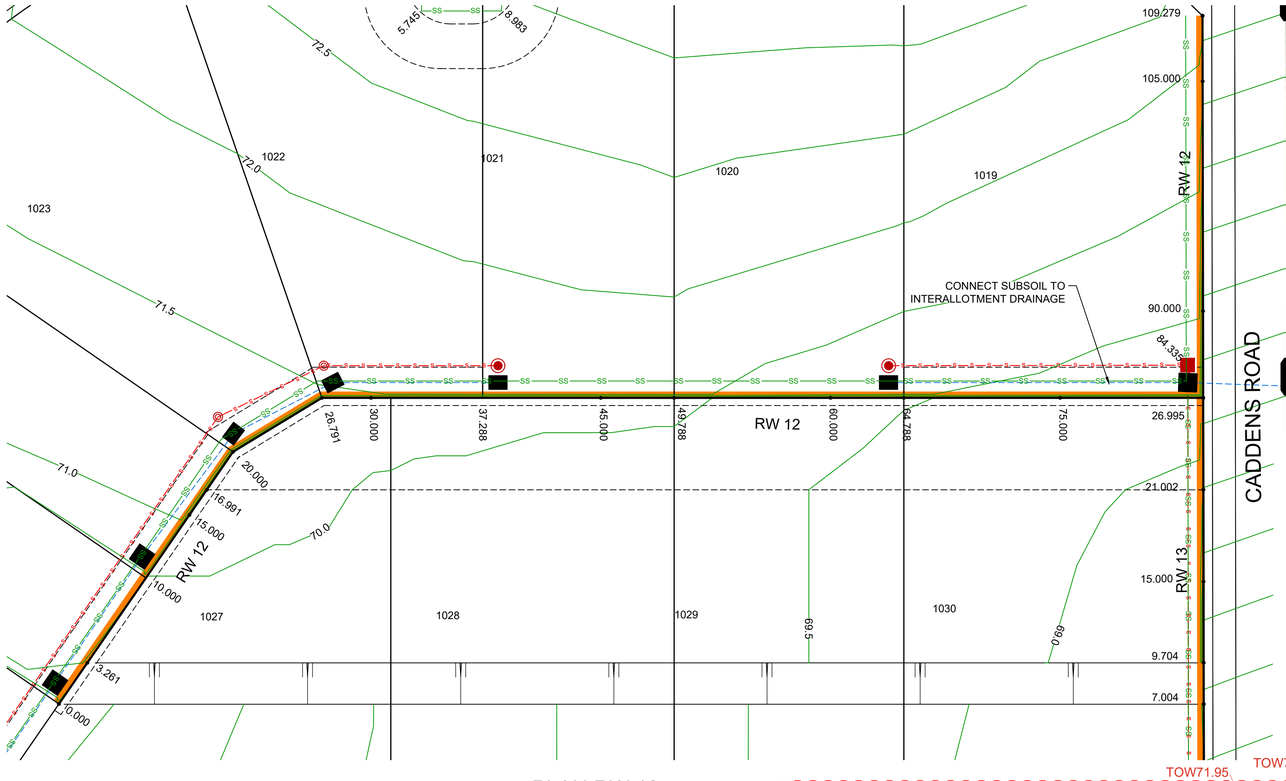
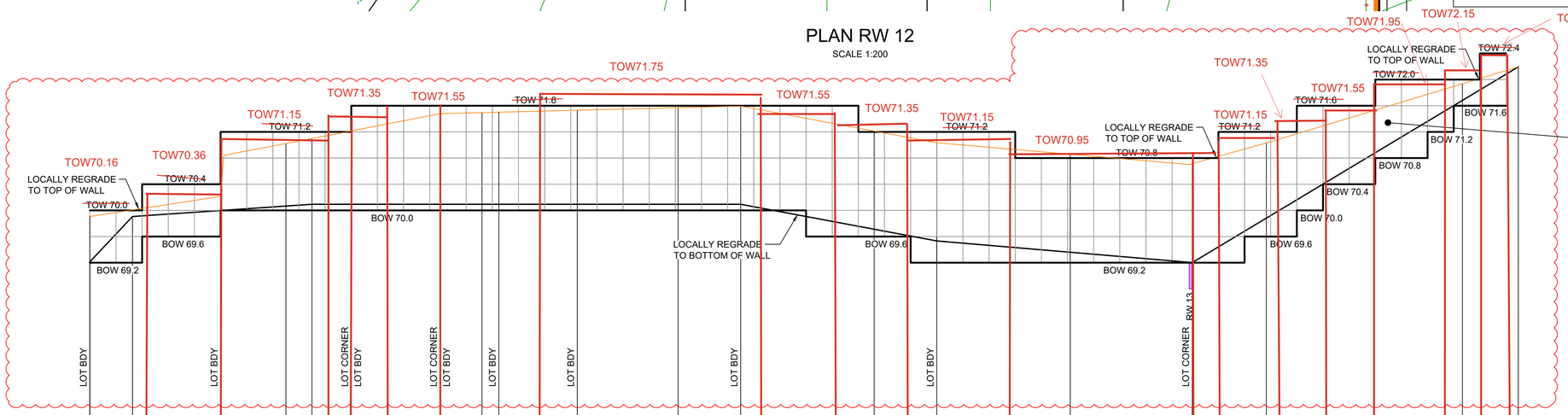


PLAN RW 12

SCALE 1:200

RW 12			
CHAINAGE	EASTING	NORTHING	BEARING
0	289634.32	6260297.98	314°27'04.78"
15	289623.61	6260308.49	314°27'04.78"
20	289620.04	6260311.99	
26.79	289617.56	6260318.31	
30	289618.11	6260321.47	9°49'00.69"
45	289620.67	6260336.25	9°49'00.69"
60	289623.22	6260351.03	9°49'00.69"
75	289625.78	6260365.81	9°49'00.69"
84.34	289627.37	6260375.01	
90	289621.79	6260375.97	279°43'02.19"
105	289607	6260378.5	279°43'02.19"
	289602.79	6260379.22	279°43'02.19"



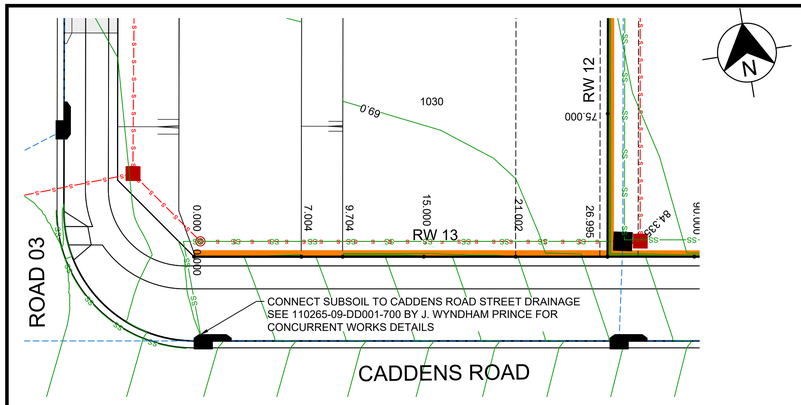
PART OF THIS RETAINING WALL (RW 12) FRONTS A PUBLIC ROAD. THE SUPPORTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

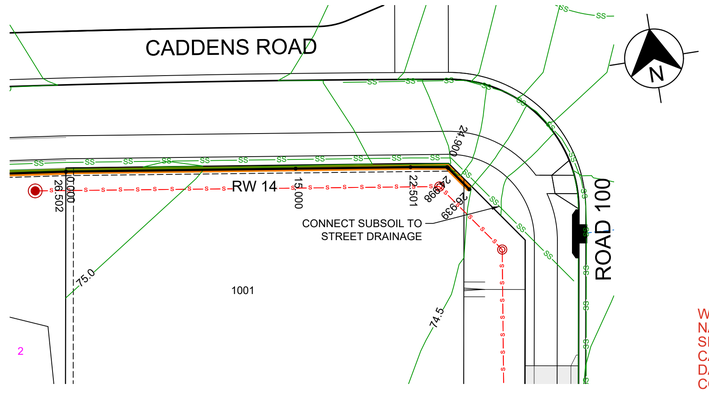
DATUM 66.0

| | | |



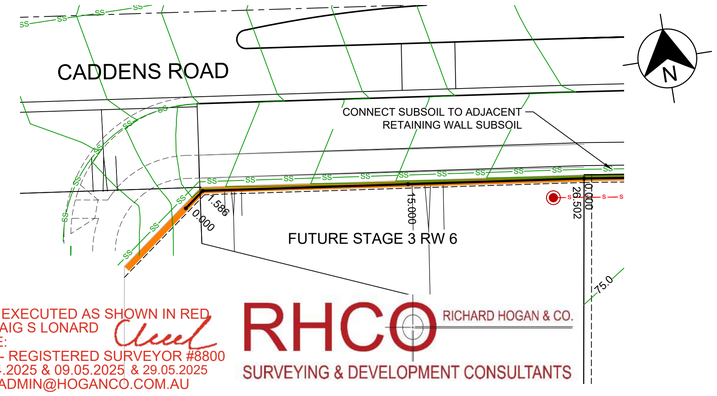
PLAN RW 13

SCALE 1:200



PLAN RW 14

SCALE 1:200



WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025 & 29.05.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

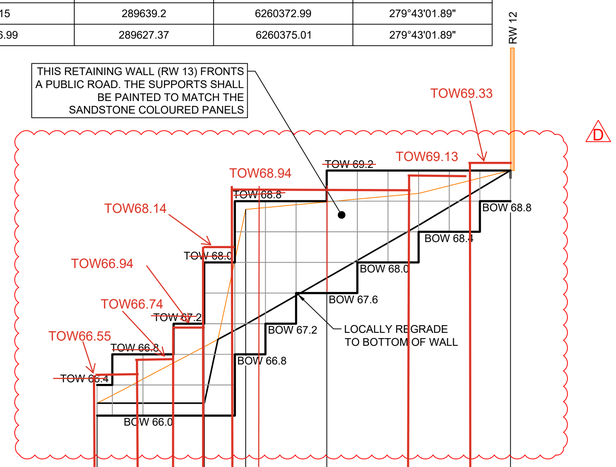
PLAN FUTURE STAGE 3 RW 6

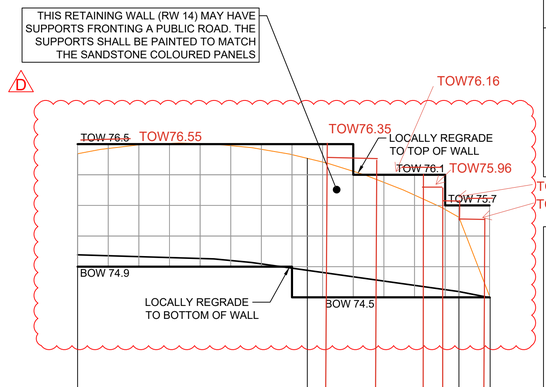
SCALE 1:200

RW 13			
CHAINAGE	EASTING	NORTHING	BEARING
0	289653.98	6260370.46	279°43'01.89"
15	289639.2	6260372.99	279°43'01.89"
26.99	289627.37	6260375.01	279°43'01.89"

RW 14			
CHAINAGE	EASTING	NORTHING	BEARING
0	289550.4	6260387.65	98°58'16.86"
15	289565.22	6260385.31	98°58'16.86"
22.5	289572.63	6260384.14	
24.9	289574.99	6260383.74	
26.94	289576.17	6260382.07	144°46'01.69"

STAGE 3 RW 6			
CHAINAGE	EASTING	NORTHING	BEARING
0	289524.44	6260390.12	53°50'05.94"
1.59	289525.72	6260391.06	
15	289539.01	6260389.22	97°51'10.17"
26.5	289550.4	6260387.65	97°51'10.17"



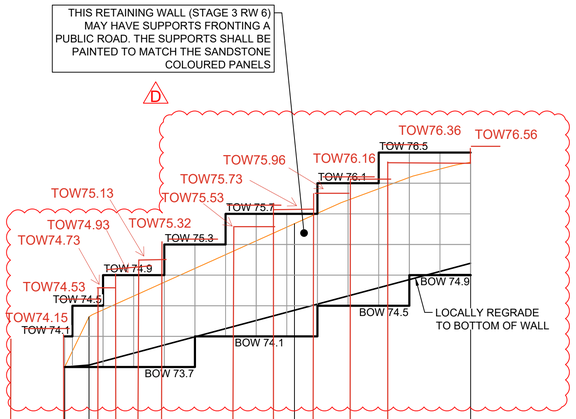


LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS



DATUM 63.0

TOE OF WALL GROUND LEVELS	~~66.102~~	66.55	66.5	66.65	66.97	~~66.980~~	67.90	67.191	68.6(TB)	~~67.797~~	68.8	68.85	69.15	69.35	~~69.202~~	LEVELS INSIDE LOT 1030
TOP OF WALL GROUND LEVELS	~~66.102~~	66.35	66.65	67.65	66.95	~~66.102~~	67.10	68.692	67.3	~~68.790~~	67.4	68.3	68.7	69.45	~~69.201~~	LEVELS IN CADDENS ROAD(UNDER CONST.)
CHAINAGE	0.000	2.9	4.9	7.004	9.0	9.704	10.7	15.000	21.0	25.0	26.995					

LONGITUDINAL SECTION RW 13

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

ALL WAE LEVELS FOR RET WALL 13 UPDTAED 29.05.2025

DATUM 71.0

TOE OF WALL GROUND LEVELS	75.055	75.03	~~74.852~~	74.82	74.75	74.50	74.45	~~74.575~~	74.45	~~74.405~~	74.4	LEVELS INSIDE LOT 1001
TOP OF WALL GROUND LEVELS	76.374	76.8	~~76.314~~	76.8	76.3	76.0	74.6	~~75.496~~	74.6	~~74.395~~	75.5	LEVELS ON CADDENS ROAD (UNDER CONSTRUCTION)
CHAINAGE	0.000		15.000	15.9	20.0	22.0	24.0	24.900		26.939	26.2	

LONGITUDINAL SECTION RW 14

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

PENRITH CITY COUNCIL
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Subdivision Works Certificate: EA24/0036.01
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DATUM 71.0

TOE OF WALL GROUND LEVELS	73.9	73.9	~~73.780~~	73.726	74.2	74.4	74.45	74.50	74.60	74.60	74.441	74.65	74.8	74.95	75.0	~~75.055~~
TOP OF WALL GROUND LEVELS	73.9	74.1	~~73.790~~	74.364	74.4	74.6	74.6	74.8	74.95	75.1	75.572	75.2	76.2	76.3	76.8	~~76.374~~
CHAINAGE	-5.0	0.000		1.586	2.5	4.5	6.5	8.5	12.5	14.5	15.000	16.5	20.2	22.5	26.502	

LONGITUDINAL SECTION FUTURE STAGE 3 RW 6

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

D	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION

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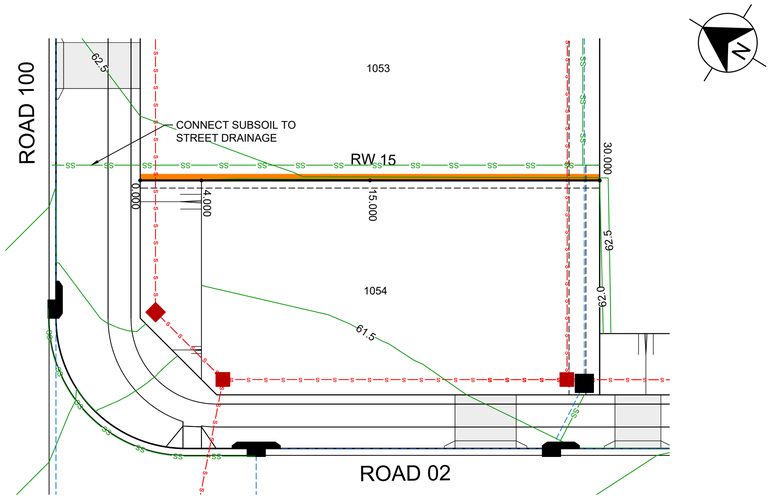
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 9

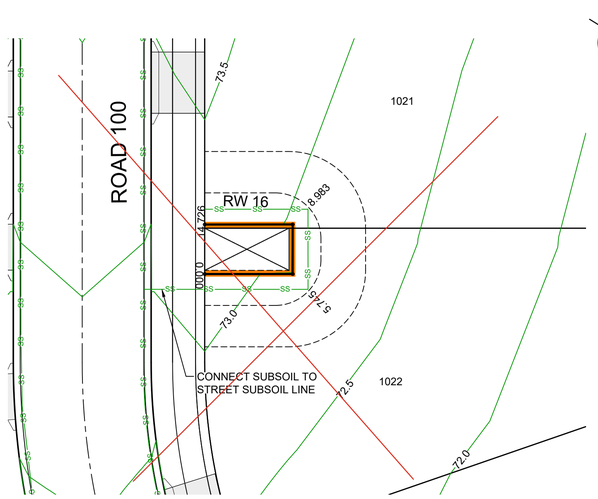
PROJECT No: 110265-09
SHEET No: DD1608

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1608 | D

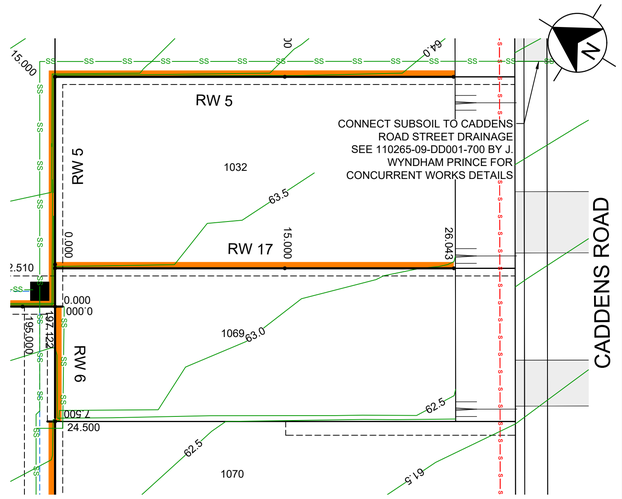
Plotted: 14 November, 2024 8:54:58 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C110265-09-DD1600.dwg



PLAN RW 15
SCALE 1:200



PLAN RW 16
SCALE 1:200

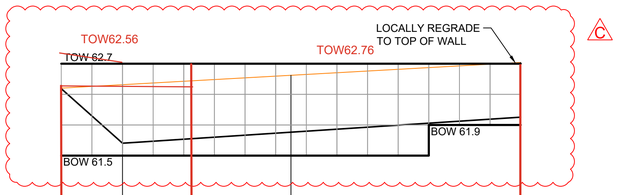


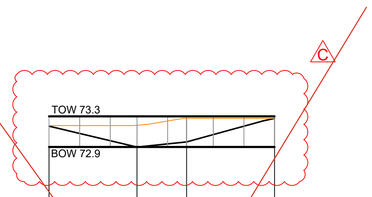
PLAN RW 17
SCALE 1:200

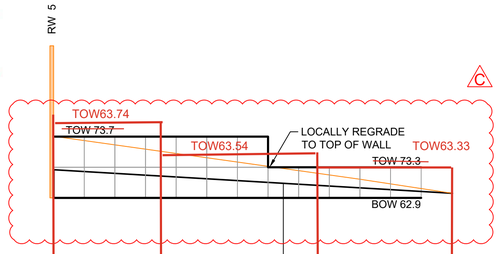
WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

RW 15			
CHAINAGE	EASTING	NORTHING	BEARING
0	289746.62	6260148.24	328°15'22.39"
15	289738.73	6260161	328°15'22.39"
30	289730.83	6260173.75	328°15'22.39"







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DATUM 59.0									
TOE OF WALL	~~62.374~~	61.85	61.662	61.67	61.806	62.35	~~62.002~~
GROUND LEVELS							
TOP OF WALL	~~62.381~~	62.17	62.426	62.36	62.549	62.54	~~62.710~~
GROUND LEVELS							
CHAINAGE	0.000		4.000	11.8	15.000		30.000

LONGITUDINAL SECTION RW 15
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

DATUM 70.0					
TOE OF WALL	73.172	72.899	72.966	73.273
GROUND LEVELS				
TOP OF WALL	73.179	73.184	73.273	73.273
GROUND LEVELS				
CHAINAGE	0.000	5.745	8.983	14.726

LONGITUDINAL SECTION RW 16
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

DATUM 60.0							
TOE OF WALL	~~63.282~~	63.07	63.15	63.105	62.96	62.974
GROUND LEVELS						
TOP OF WALL	~~63.719~~	63.58	63.52	63.298	63.34	63.01	~~62.974~~
GROUND LEVELS							
CHAINAGE	0.000	8.1	15.000	16.0	26.043

LONGITUDINAL SECTION RW 17
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

NOTES:

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LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

RW 16			
CHAINAGE	EASTING	NORTHING	BEARING
0	289587.31	6260331.16	99°49'01.32"
5.74	289592.97	6260330.18	
8.98	289593.52	6260333.37	
14.73	289587.86	6260334.35	279°45'13.94"

RW 17			
CHAINAGE	EASTING	NORTHING	BEARING
0	289698.64	6260332.33	9°49'01.32"
15	289701.2	6260347.11	9°49'01.32"
26.04	289703.08	6260357.99	9°49'01.32"

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

C	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
B	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
A	RETAINING WALL ADDED; LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR CONSTRUCTION
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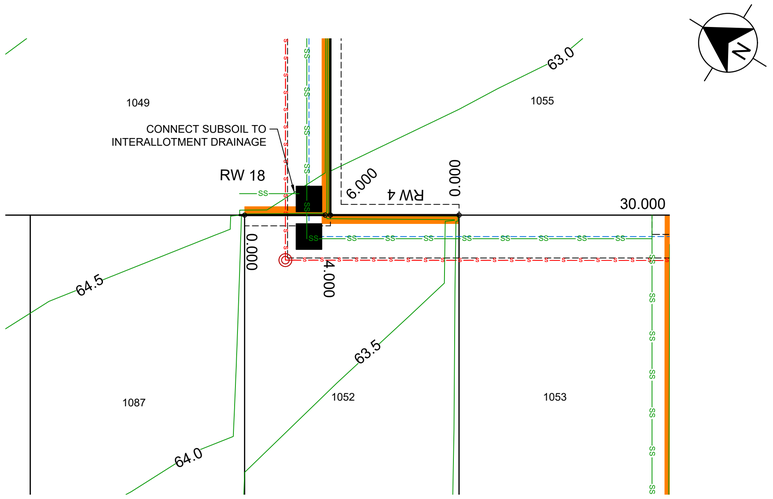
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 10

PROJECT No: 110265-09
SHEET No: DD1609

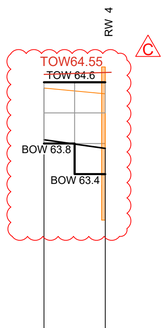
AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1609 | C

Plotted: 14 November , 2024 8:54:59 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1600.dwg



PLAN RW 18

SCALE 1:200



DATUM 61.0

TOE OF WALL	63.649	63.59	63.50	63.743
GROUND LEVELS				
TOP OF WALL	64.524	64.5	64.5	64.449
GROUND LEVELS				
CHAINAGE	0.000		4.000	

LONGITUDINAL SECTION RW 18

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RW 18			
CHAINAGE	EASTING	NORTHING	BEARING
0	289713.82	6260163.23	58°15'22.39"
4	289717.02	6260165.21	58°15'22.39"

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

NOTES:

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LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

1:20 (AT A1): 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1): 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3): 4 2 0 4 8 12 16 20 METRES

C	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
B	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
A	RETAINING WALL ADDED; LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 11

PROJECT No: 110265-09
SHEET No: DD1610

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1610 | C

Plotted: 14 November , 2024 8:54:59 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C110265-09-DD1600.dwg

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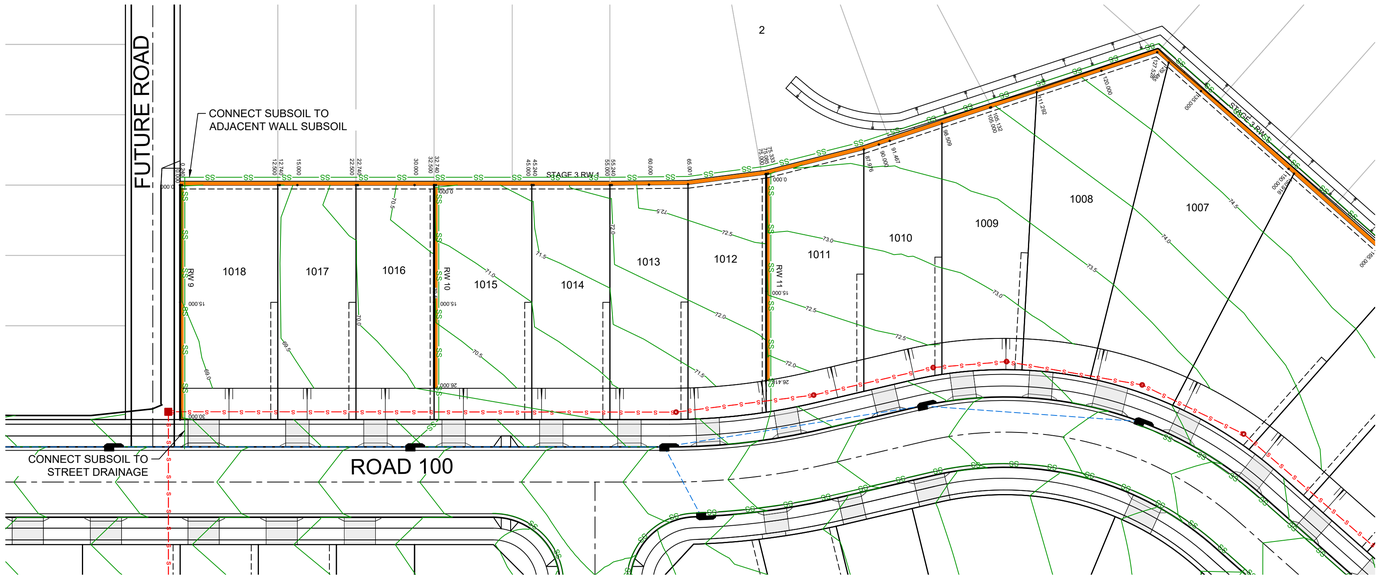

NOTES:

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LEGEND

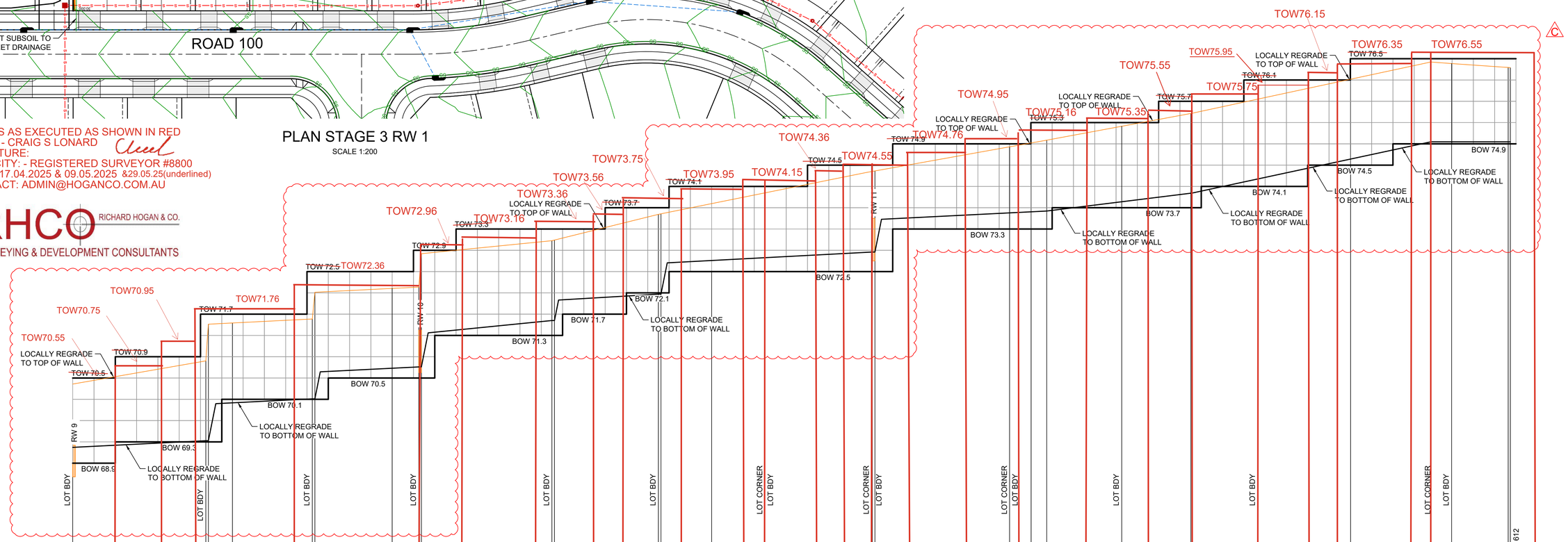
- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025 & 09.05.2025 &29.05.25(underlined)
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

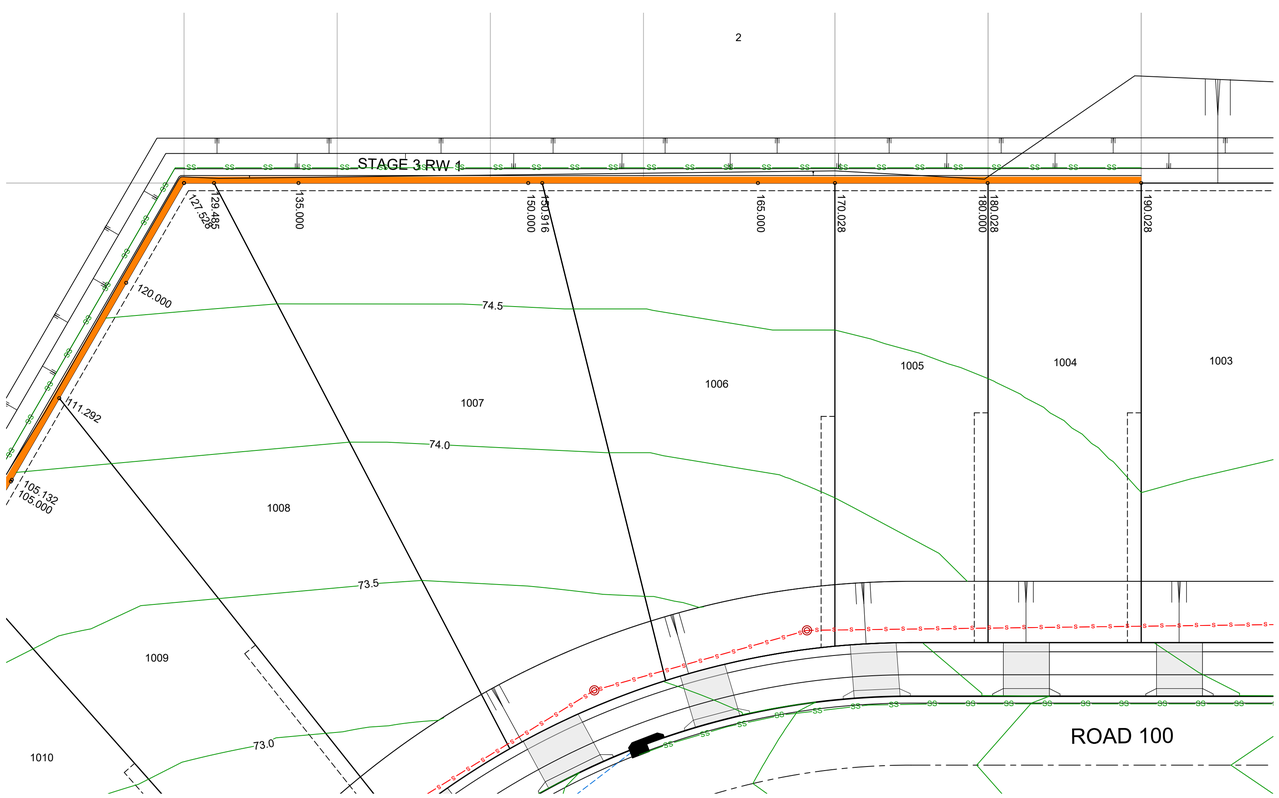
PLAN STAGE 3 RW 1

SCALE 1:200



DATUM 66.0

| | | |



PLAN STAGE 3 RW 1

SCALE 1:200

STAGE 3 RW 1			
CHAINAGE	EASTING	NORTHING	BEARING
0	289613.14	6260189.13	328°15'22.39"
15	289605.25	6260201.89	328°15'22.39"
30	289597.35	6260214.64	328°15'22.39"
45	289589.46	6260227.4	328°15'22.39"
55	289584.2	6260235.9	
60	289581.53	6260240.13	327°40'38.71"
65	289578.85	6260244.35	
75	289572.54	6260252.11	320°49'31.94"
75.09	289572.48	6260252.17	
87.98	289563.23	6260261.14	
90	289561.68	6260262.44	309°56'23.88"
105	289550.18	6260272.07	309°56'23.88"
120	289538.68	6260281.7	309°56'23.88"
127.53	289532.9	6260286.54	
135	289534.18	6260293.9	9°49'01.32"
150	289536.74	6260308.68	9°49'01.32"
165	289539.29	6260323.46	9°49'01.32"
180	289541.85	6260338.24	9°49'01.32"
190.03	289543.56	6260348.12	9°49'01.32"

LEGEND

- RETAINING WALL (SLEEPER WALL)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SUBSOIL

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
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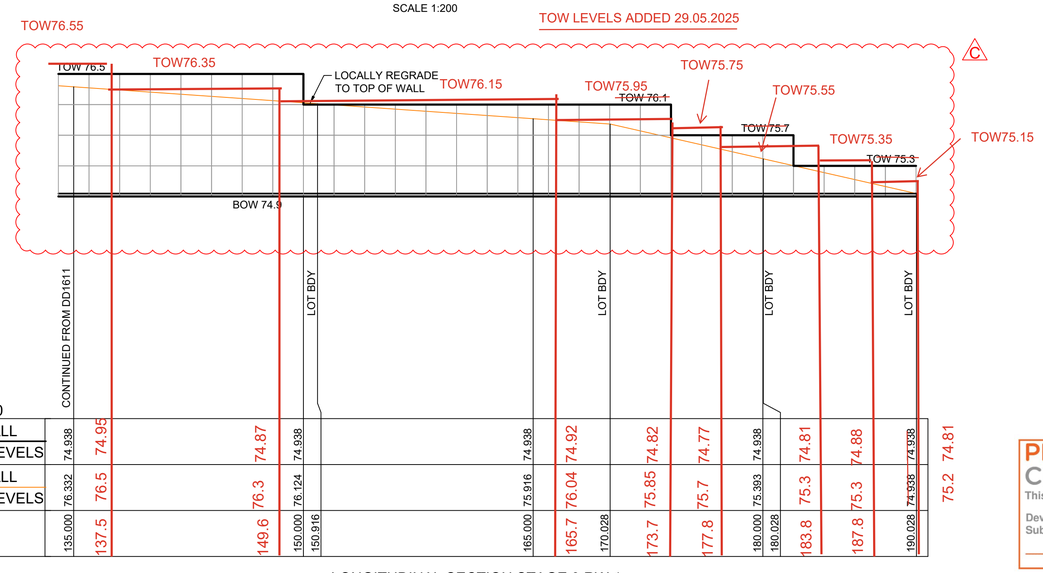
RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS



DATUM 72.0																							
TOE OF WALL GROUND LEVELS	74.938	74.95	74.87	74.938	74.938	74.92	74.82	74.77	74.938	74.81	74.88	74.938	74.81
TOP OF WALL GROUND LEVELS	76.332	76.5	76.3	76.124	75.916	76.04	75.85	75.7	75.393	75.3	75.3	74.938	75.2
CHAINAGE	135.000	137.5	149.6	150.000	150.916	165.000	165.7	170.028	173.7	177.8	180.000	180.028	183.8	187.8	190.028

LONGITUDINAL SECTION STAGE 3 RW 1

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: DA23/0969
Subdivision Works Certificate: EA24/0036.01
Subject to the conditions outlined in the consent
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS

1:20 (AT A1) 400 200 0 400 800 1200 1600 2000 MILLIMETRES

1:40 (AT A1) 800 400 0 800 1600 2400 3200 4000 MILLIMETRES

1:200 (AT A1) 1:400 (AT A3) 4 2 0 4 8 12 16 20 METRES

C	AMEND RETAINING WALL PROFILE TO SLEEPER WALL	MMC	EJ	MS	MS	07/11/24
B	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
A	RETAINING WALL ADDED; LONG SECTIONS, SETOUT & TYPICAL ADDED	MMC	GA	DG	CR	12/09/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
PO Box 4366 PENRITH WESTFIELD NSW 2750
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

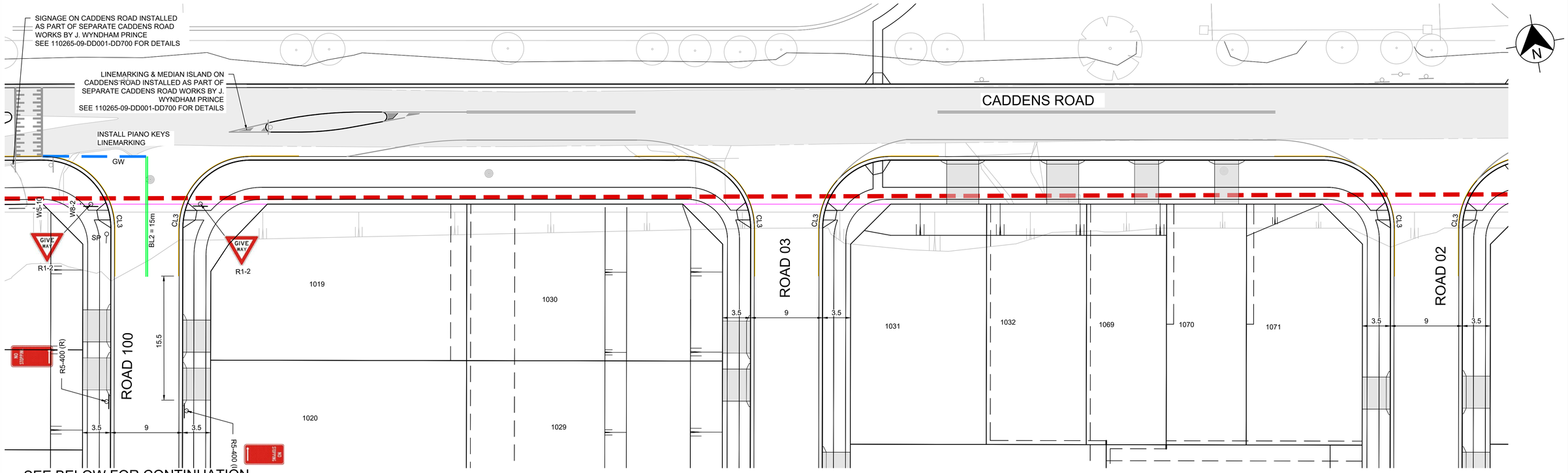
STATUS: ISSUE FOR CONSTRUCTION
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 13

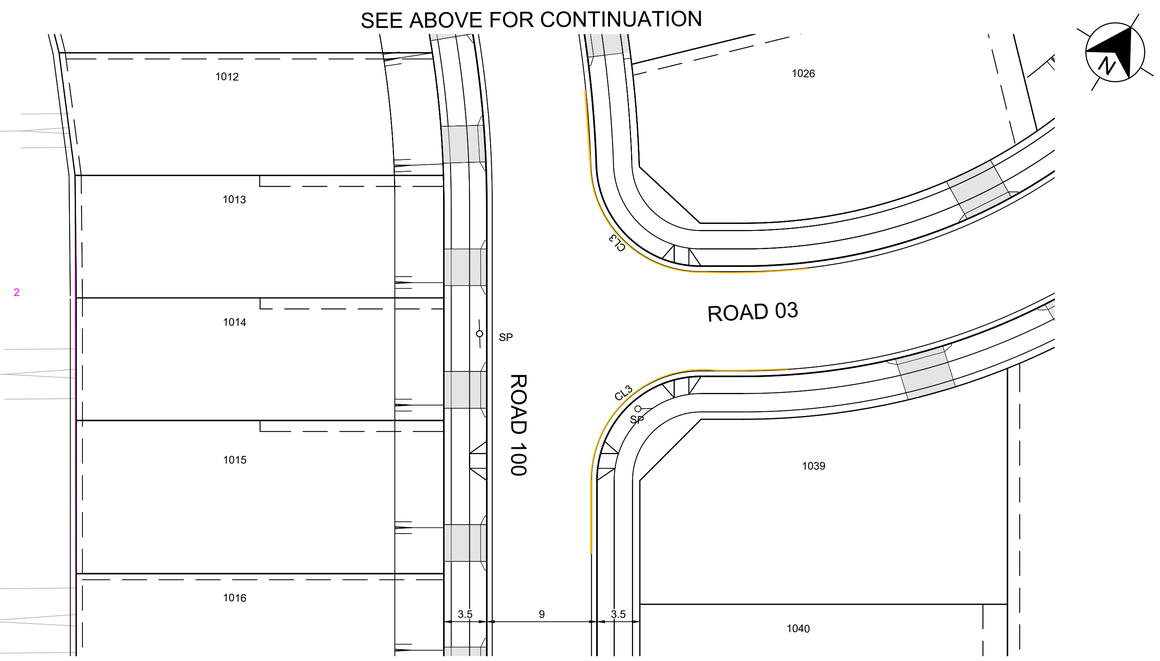
PROJECT No: 110265-09
SHEET No: DD1612

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1612 | C

Plotted: 14 November, 2024 8:55:00 AM File Name: C:\SynergyWS\data\ASJ\WP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1600.dwg



PLAN
SCALE 1:250



PLAN
SCALE 1:250

PAVEMENT MARKING SCHEDULE

CODE	USE	STYLE	COLOUR & TYPE
BL2	Replaces dividing line if there is restricted sight distance for both directions, at approaches to a median island or at approaches to a pedestrian crossing.	12m, 0.10, 0.10, 0.10	white
GW	Give way line	0.6m, 0.6m	white
C3	Kerbside linemarkings for No Stopping Restriction	0.10	Yellow

PAVEMENT MARKING & SIGNPOSTING NOTES

1. ALL SIGNS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARD AS 1743 - ROAD SIGNS, RMS SUPPLEMENTS AND COUNCIL'S SPECIFICATIONS UNLESS STATED OTHERWISE.
2. ROAD SIGNS ARE SIZE 'A', UNLESS OTHERWISE SHOWN. LOCATE OUTSIDE OF CLEAR ZONES.
3. ALL NEW PAVEMENT MARKINGS ARE TO BE INSTALLED IN WHITE REFLECTIVE, THERMOPLASTIC PAINT.
4. RETRO-REFLECTIVE RAISED PAVEMENT MARKERS (RRPMs) ARE TO BE USED TO SUPPLEMENT PAVEMENT MARKINGS FOR INCREASED EFFECTIVENESS.
5. ALL MEASUREMENTS ARE IN METRES UNLESS SHOWN OTHERWISE. NO INFORMATION IS TO BE SCALED FROM THESE DRAWINGS.
6. EXISTING SPEED LIMIT TO BE MAINTAINED, NEW SIGNS TO BE ERECTED.
7. STREET NAME SIGN LOCATION AS PER PENRITH CITY COUNCIL DRAWING No. SD1006/1

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

LEGEND	
	NEW SIGN POST
SP SP	STREET SIGN

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

SIGNAGE AND LINE MARKING SUBJECT TO SEPARATE APPROVAL BY COUNCIL'S LOCAL TRAFFIC COMMITTEE

THESE SIGNAGE AND LINEMARKING PLANS ARE SUBJECT TO APPROVAL BY PENRITH CITY COUNCIL TRAFFIC COMMITTEE

1:250 (AT A1)
1:500 (AT A3)
5 0 5 10 15
METRES

C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	ROAD LAYOUT, LEGEND, SIGNAGE & LINEMARKING UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

J. WYNDHAM PRINCE
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS
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P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

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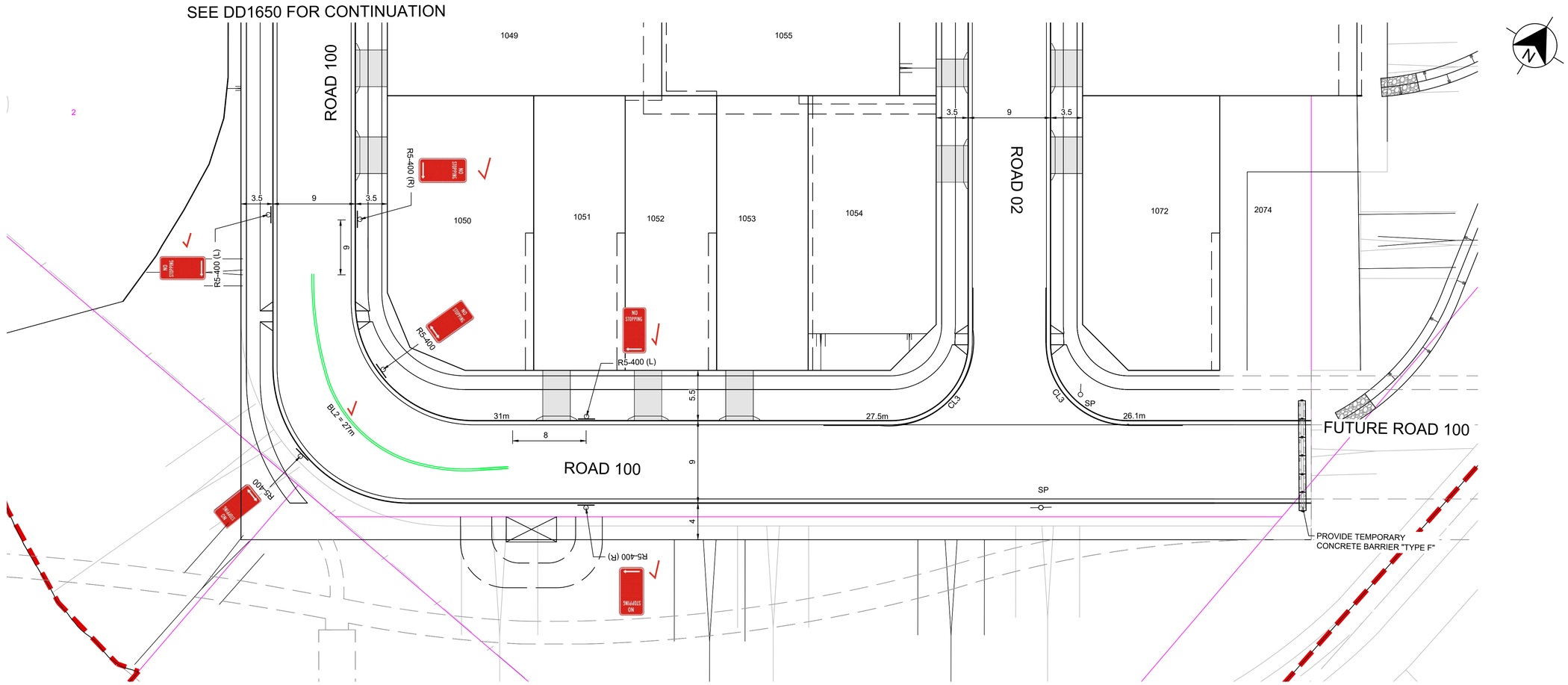
ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
SIGNAGE & LINEMARKING PLAN
SHEET 1

PROJECT No: 110265-09
SHEET No: DD1650

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1650 | C

Plotted: 11 November , 2024 10:47:44 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SWC\110265-09-DD1650.dwg



PLAN

SCALE 1:250

PAVEMENT MARKING & SIGNPOSTING NOTES

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6. EXISTING SPEED LIMIT TO BE MAINTAINED, NEW SIGNS TO BE ERECTED.
7. STREET NAME SIGN LOCATION AS PER PENRITH CITY COUNCIL DRAWING No. SD1006/1

PAVEMENT MARKING SCHEDULE

CODE	USE	STYLE	COLOUR & TYPE
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GW	Give way line	0.6m, 0.6m	white
C3	Kerbside linemarkings for No Stopping Restriction	0.10	Yellow

LEGEND

	NEW SIGN POST
SP SP	STREET SIGN

THESE SIGNAGE AND LINEMARKING PLANS ARE SUBJECT TO APPROVAL BY PENRITH CITY COUNCIL TRAFFIC COMMITTEE

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 17.04.2025
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

SIGNAGE AND LINE MARKING SUBJECT TO SEPARATE APPROVAL BY COUNCIL'S LOCAL TRAFFIC COMMITTEE

1:250 (AT A1)
1:500 (AT A3)
5 0 5 10 15
METRES

C	FOR CONSTRUCTION	MMC	GA	MS	MS	27/09/24
B	ROAD LAYOUT, LEGEND, SIGNAGE & LINEMARKING UPDATED	MMC	GA	DG	CR	12/09/24
A	ISSUE FOR TENDER	MMC	GA	MS		10/04/24
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ORCHARD HILLS NORTH
STAGE 1 CADDENS ROAD
SIGNAGE & LINEMARKING PLAN
SHEET 2

PROJECT No: 110265-09
SHEET No: DD1651

AZIMUTH: M.G.A. 2020 | DATUM: A.H.D. | ORIGIN: SSM 1112 | PLAN No: 110265-09-DD1651 | C

Plotted: 11 November , 2024 10:47:45 AM File Name: C:\SynergyWS\data\ASJWP07\110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 1 SW\C\110265-09-DD1650.dwg