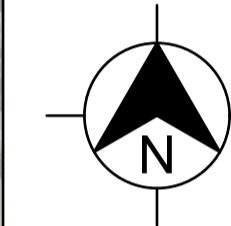




LEGACYPROPERTY

ORCHARD HILLS NORTH STAGE 2

SUBDIVISION WORKS CERTIFICATE PROPOSED LOT, ROAD AND DRAINAGE WORKS DA 24/0041



LOW UPDATED

IMAGE REF: METROMAP - 08/08/23

LOCALITY SKETCH

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

RHCO RICHARD HOGAN & CO.
SURVEYING & DEVELOPMENT CONSULTANTS

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent

Plotted: 18 August, 2025 2:29:12 PM File Name: C:\Synergy\WSD\data\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2 SWC\110265-09-DD20001.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE	
E	L.O.W. UPDATED	MMC	GA	RT	RT	18/08/25
D	L.O.W. UPDATED	MMC	GA	RT	MS	18/06/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24



LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:



LEGACYPROPERTY

STATUS:

**ISSUE FOR
SWC APPROVAL**

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS
SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
COVER SHEET

PROJECT No:
110265-09

SHEET No:
DD20001

PLAN No: 110265-09-DD20001

PROJECT No:
110265-09

SHEET No:
DD20001

PLAN No: 110265-09-DD20001

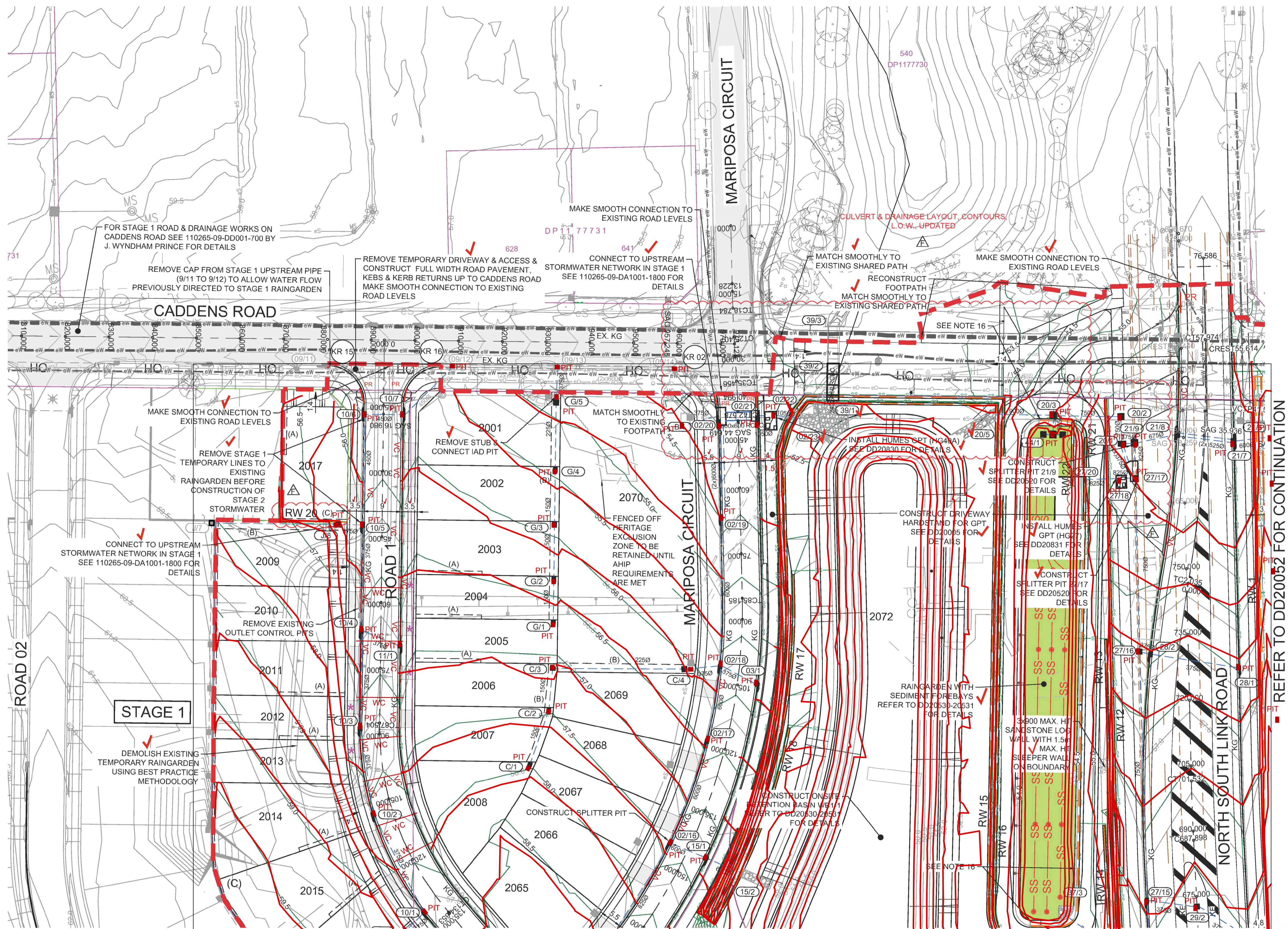
E

NOTES:

1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.
2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD20300-20305 FOR DETAILS
3. REFER TO DD20006 FOR TYPICAL ROAD DETAILS
4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.
5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE
6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD20700 FOR DEMOLITION PLAN
7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHERWISE NOTED ON PLAN. VC'S TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS WITH: *
8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH > 1.5m
9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD20600-20623
10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD20600-206XX FOR DETAILS
11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT
12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND LANDSCAPE ARCHITECT'S PLANS
13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.
14. ALL PRAM RAMPS TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002
15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.
16. INSTALL STACKED 0.5m HIGH FEATURE BLOCK RETAINING WALL. REFER TO DD20532 & DD20624 FOR DETAILS

- (A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
- (C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
- (F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
- (R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
- (R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU



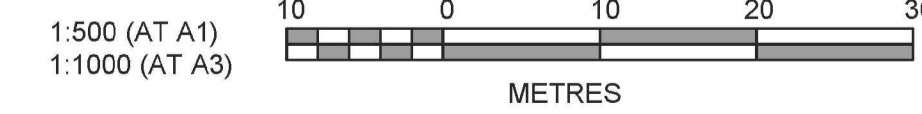
REFER TO DD20051 FOR CONTINUATION

REFER TO DD20052 FOR CONTINUATION

▲ BASIN & RAINGARDEN LAYOUT INC. ASSOCIATED RETAINING WALLS UPDATED

PENRITH CITY COUNCIL
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Plotted: 20 August, 2025 7:34:15 PM File Name: C:\Synergy\WData\AS\JWP\07110265 - 09 - Precinct 1 Development\1_3533\Design\DD\Stage 2 SWC\110265-09-DD20050.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
F	GA	RT	RT		18/08/25
E	GA	RT	MS		18/06/25
D	GA	RT	MS		29/05/25
C	GA	RT	MS		26/03/25
B	EJ	RT	MS		17/12/24
A	GA	RT	MS		06/12/24

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

LEGACYPROPERTY

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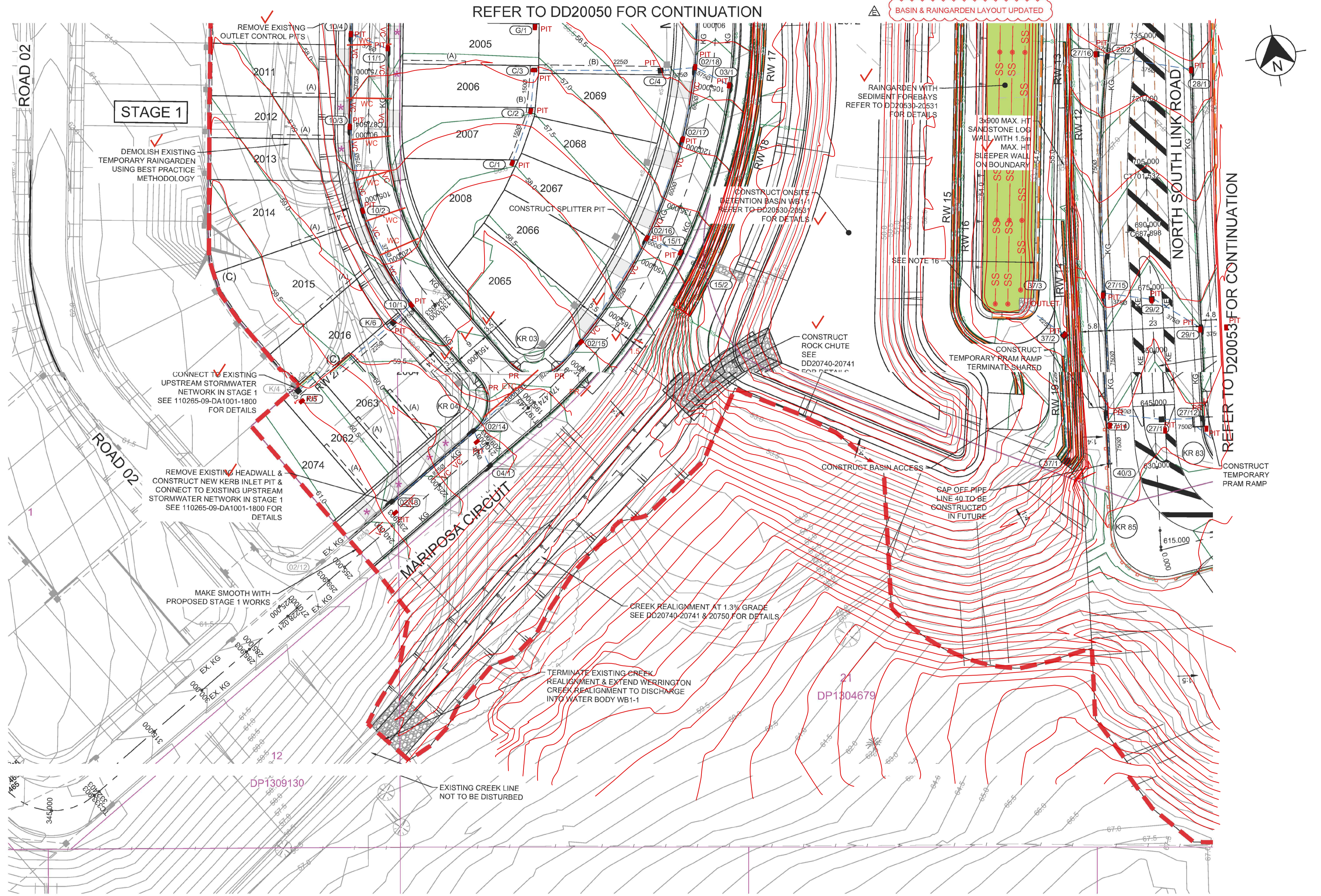
ORCHARD HILLS NORTH STAGE 2 CADDENS ROAD ENGINEERING PLAN SHEET 1
 AZIMUTH: M.G.A. 2020
 DATUM: A.H.D.
 ORIGIN: SSM 1112
 PLAN No: 110265-09-DD20050

PROJECT No: 110265-09
 SHEET No: DD20050
 F

NOTES:

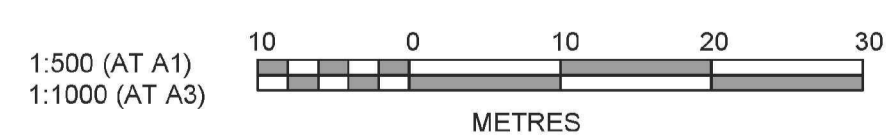
1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.
2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD20300-20305 FOR DETAILS
3. REFER TO DD20006 FOR TYPICAL ROAD DETAILS
4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.
5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE
6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD20700 FOR DEMOLITION PLAN
7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHERWISE NOTED ON PLAN. VCS TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS WITH: *
8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH >1.5m
9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD20600-20623
10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD20600-206XX FOR DETAILS
11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT
12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTS DIAMS AND LANDSCAPE ARCHITECTS DIAMS
13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.
14. ALL PRAM RAMP TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002
15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.

- (A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
- (C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
- (F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
- (R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
- (R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)



WORKS AS EXECUTED AS SHOWN IN RED
 NAME: CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: REGISTERED SURVEYOR #8800
 DATE: 27.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
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REV	DESCRIPTION	DES	DRN	CKD	APR	DATE
E	NOTES, SUBSOIL, BASIN, RAINGARDEN UPDATED	MMC	GA	RT	RT	18/08/25
D	BATTER UPDATED	MMC	GA	RT	MS	18/06/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	13/06/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24
	AMENDMENT	DES	DRN	CKD	APR	DATE

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:

LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 ENGINEERING PLAN
 SHEET 2

AZIMUTH: M.G.A. 2020
 DATUM: A.H.D.
 ORIGIN: SSM 1112
 PLAN No: 110265-09-DD20051

PROJECT No:
110265-09
 SHEET No:
DD20051
 E

NOTES:

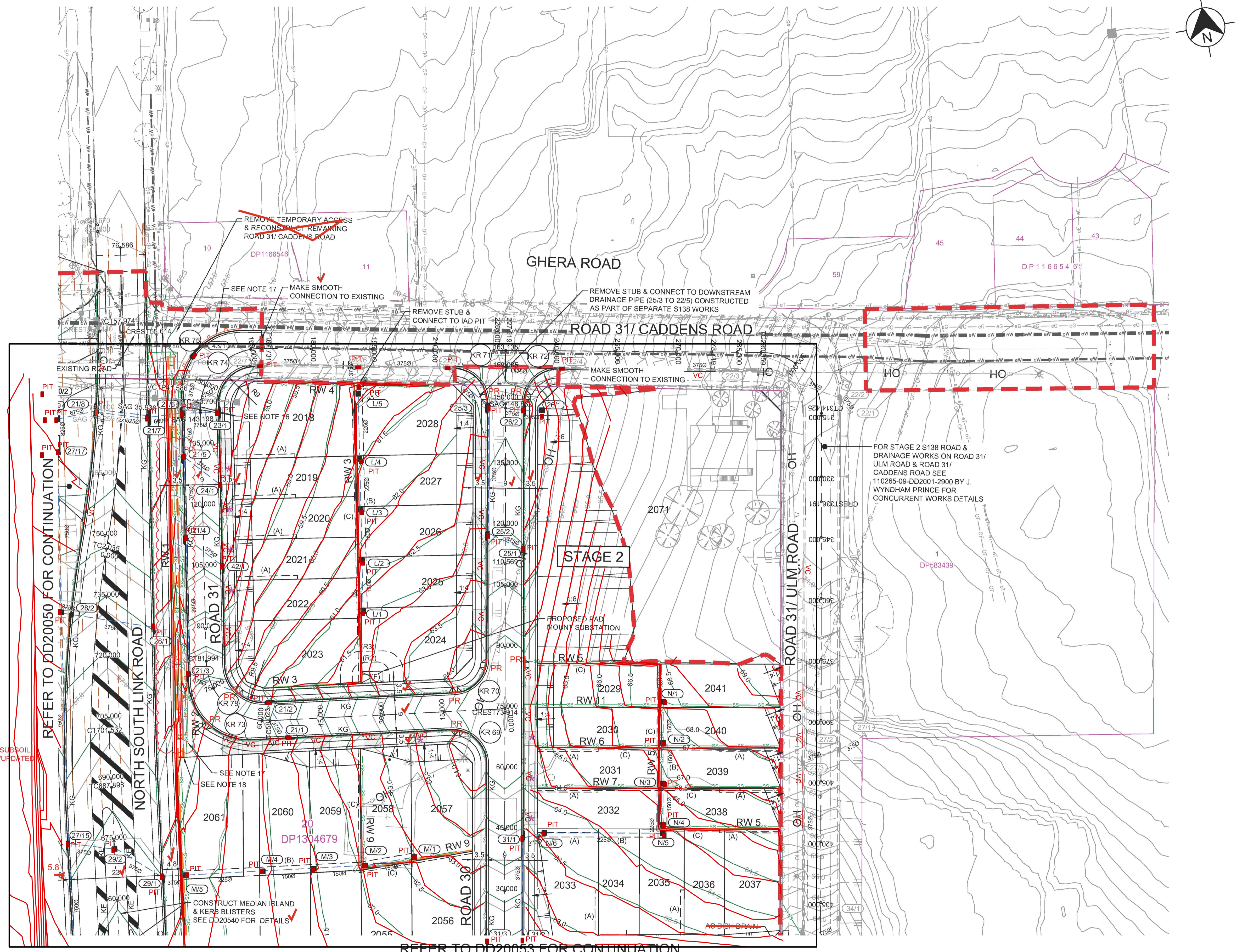
1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.
2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD20300-20305 FOR DETAILS
3. REFER TO DD20006 FOR TYPICAL ROAD DETAILS
4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.
5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE
6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD20700 FOR DEMOLITION PLAN
7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHERWISE NOTED ON PLAN. VCS TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS WITH: *
8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH >1.5m
9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD20600-20623
10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD20600-206XX FOR DETAILS
11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT
12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND LANDSCAPE ARCHITECT'S PLANS
13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.
14. ALL PRAM RAMPS TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002
15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.
16. DEMOLISH EXISTING TEMPORARY HEADWALL & SCOUR PROTECTION & CONNECT TO UPSTREAM DRAINAGE PIPES FROM PITS 227 & 43/1 CONSTRUCTED AS PART OF SEPARATE S138 WORKS SEE 110265-09-DD2001-2900 BY J. WYNHAM PRINCE FOR CONCURRENT WORKS DETAILS
17. CONSTRUCT W-BREAM CRASH BARRIER TO MANUFACTURER'S DETAILS
18. CONSTRUCT MONOWILLS VELOCITY BARRIER TO MANUFACTURER'S DETAILS

- (A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
- (C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
- (F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
- (R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
- (R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)

PENRITH CITY COUNCIL
 This plan / document relates to
 Development Consent: MOD25/0053
 S138 Roads Act: EA25/0001
 Subject to the conditions outlined in the consent

PENRITH CITY COUNCIL
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 Development Consent: MOD25/0053
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WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU



Plotted: 20 August, 2025 7:34:21 PM File Name: C:\Synergy\WS\data\AS\JWP\07110265 - 09 - Precinct 1 Development_13533\Design\DD\Stage 2 SWC\110265-09-DD20050.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
E	SUBSOIL UPDATED	MMC	GA	RT	18/08/25
D	L.O.W. UPDATED	MMC	GA	RT	18/06/25
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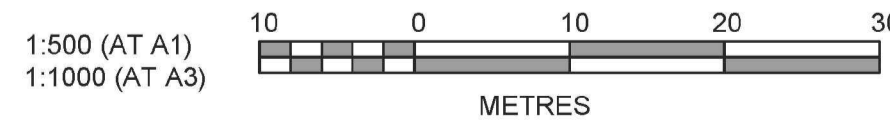
jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: **LEGACYPROPERTY**

STATUS: **ISSUE FOR SWC APPROVAL**
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 ENGINEERING PLAN
 SHEET 3

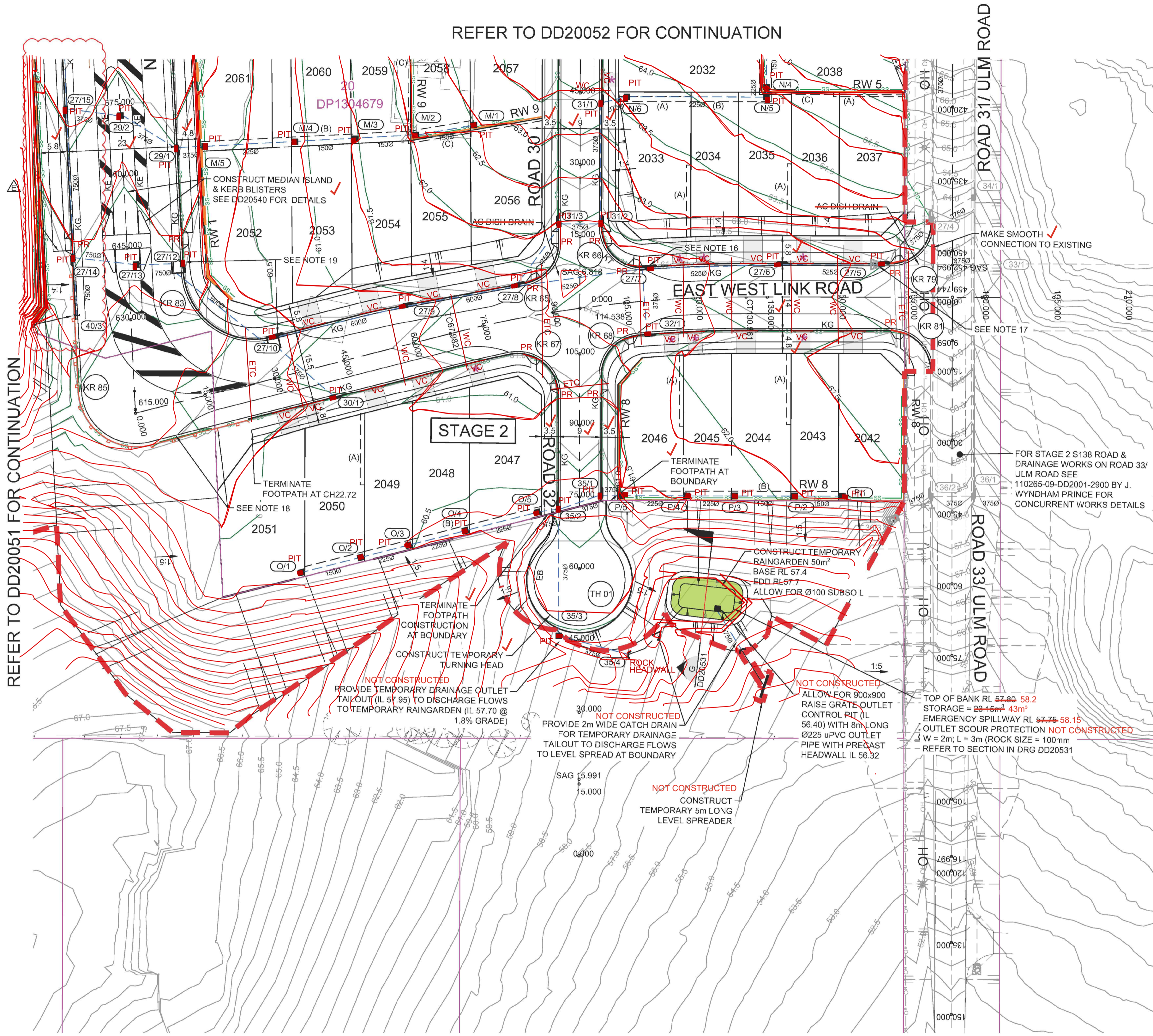
PROJECT No: **110265-09**
 SHEET No: **DD20052**
 PLAN No: **110265-09-DD20052**



NOTES:

1. ALL NEW WORKS TO SAWCUT & MAKE SMOOTH CONNECTION TO EXISTING ROAD PAVEMENT.
2. ALL KERB RETURNS ARE 8.5m RADII UNO. REFER TO DRG DD20300-20305 FOR DETAILS
3. REFER TO DD20006 FOR TYPICAL ROAD DETAILS
4. ALL EXISTING STORMWATER PITS AND PIPES THAT DO NOT FORM PART OF THE PROPOSED STORMWATER SYSTEM IS TO BE DEMOLISHED AND DISPOSED OF.
5. ALL BATTERS SHOWN ARE 1:4 UNLESS NOTED OTHERWISE
6. FOR PROPOSED TREE REMOVAL AND RETENTION LOCATION REFER TO DD20700 FOR DEMOLITION PLAN
7. ALL VEHICULAR CROSSING (VC) WIDTHS ARE 4.0m WIDE UNLESS OTHERWISE NOTED ON PLAN. VCS TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD1004 OF P.C.C SPECIFICATION FOR CIVIL WORKS. 3.0m WIDE DRIVEWAYS WITH *
8. CONSTRUCT KERB INLET PITS TO COUNCIL STANDARD DRAWING SD2001. INSTALL SL82 MESH IN ALL KERB INLET PIT WALLS AND FLOOR WHERE PIT DEPTH > 1.5m
9. FOR RETAINING WALL PLANS & DETAILS SEE DRAWINGS DD20600-20623
10. RETAINING WALLS ARE 1.5m MAX HEIGHT UNLESS OTHERWISE SHOWN. REFER TO DD20600-206XX FOR DETAILS
11. FOR COMPACTION SPECIFICATIONS REFER TO GEOTECHNICAL REPORT
12. PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND LANDSCAPE ARCHITECT'S PLANS
13. ALL INTERALLOTMENT DRAINAGE EASEMENT WIDTHS TO BE IN ACCORDANCE WITH THE P.C.C. DESIGN GUIDELINES. 150-225Ø PIPES SHALL HAVE 2m WIDE EASEMENTS WHERE THE PIPE IS ADJACENT TO A RETAINING WALL.
14. ALL PRAM RAMPS TO BE CONSTRUCTED TO P.C.C. SPECIFICATION FOR CIVIL WORKS DRAWING SD1002
15. ACCESS TO EXISTING DWELLINGS IS TO BE MAINTAINED AT ALL TIMES.
16. CONSTRUCT CUSTOM PIT WITH EXTERNAL CHAMBER TO ALLOW LINE 32 TO BE CONNECTED PERPENDICULAR INTO THE CHAMBER
PIT TO STRUCTURAL ENGINEER'S DETAILS
SEE DD20521 FOR DETAILS
17. DEMOLISH EXISTING TEMPORARY HEADWALL & SCOUR PROTECTION & CONNECT TO UPSTREAM DRAINAGE PIT 27/4 CONSTRUCTED AS PART OF SEPARATE S138 WORKS
SEE 110265-09-DD2001-2900 BY J. WYNDHAM PRINCE FOR CONCURRENT WORKS DETAILS
18. CONSTRUCT TEMPORARY KERB & GUTTER FROM CH0.00 TO CH31.40 (EAST WEST LINK ROAD) & CH615.00 TO CH639.59 (NORTH SOUTH LINK ROAD) & CONSTRUCT W-BREAM CRASH BARRIER TO MANUFACTURER'S DETAILS
IT SHALL BE REMOVED WHEN THE ULTIMATE EAST WEST LINK ROAD & NORTH SOUTH LINK ROAD INTERSECTION IS CONSTRUCTED.
19. CONSTRUCT CUSTOM PIT WITH EXTERNAL CHAMBER TO ALLOW LINE 27 TO BE CONNECTED TO PIT CHAMBER WITHOUT ENCRoACHING ON LOT
PIT TO STRUCTURAL ENGINEER'S DETAILS
SEE DD20525 FOR DETAILS

REFER TO DD20052 FOR CONTINUATION

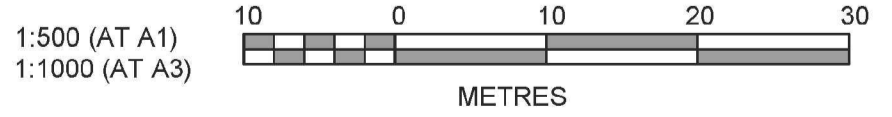


REFER TO DD20051 FOR CONTINUATION

- (A) PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2.0 WIDE
- (C) PROPOSED EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE
- (F) PROPOSED EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (R1) PROPOSED RESTRICTION ON THE USE OF LAND 6 WIDE
- (R2) PROPOSED RESTRICTION ON THE USE OF LAND (FIRE RATING)
- (R3) PROPOSED RESTRICTION ON THE USE OF LAND (SWIMMING POOL)

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 27.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

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REV	DESCRIPTION	DES	DRN	CKD	APR	DATE
E	SUBSOIL UPDATED	MMC	GA	RT	RT	18/08/25
D	ADDRESS COUNCIL COMMENTS - DRAINAGE/NOTES UPDATED	MMC	GA	RT	MS	29/05/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
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jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:

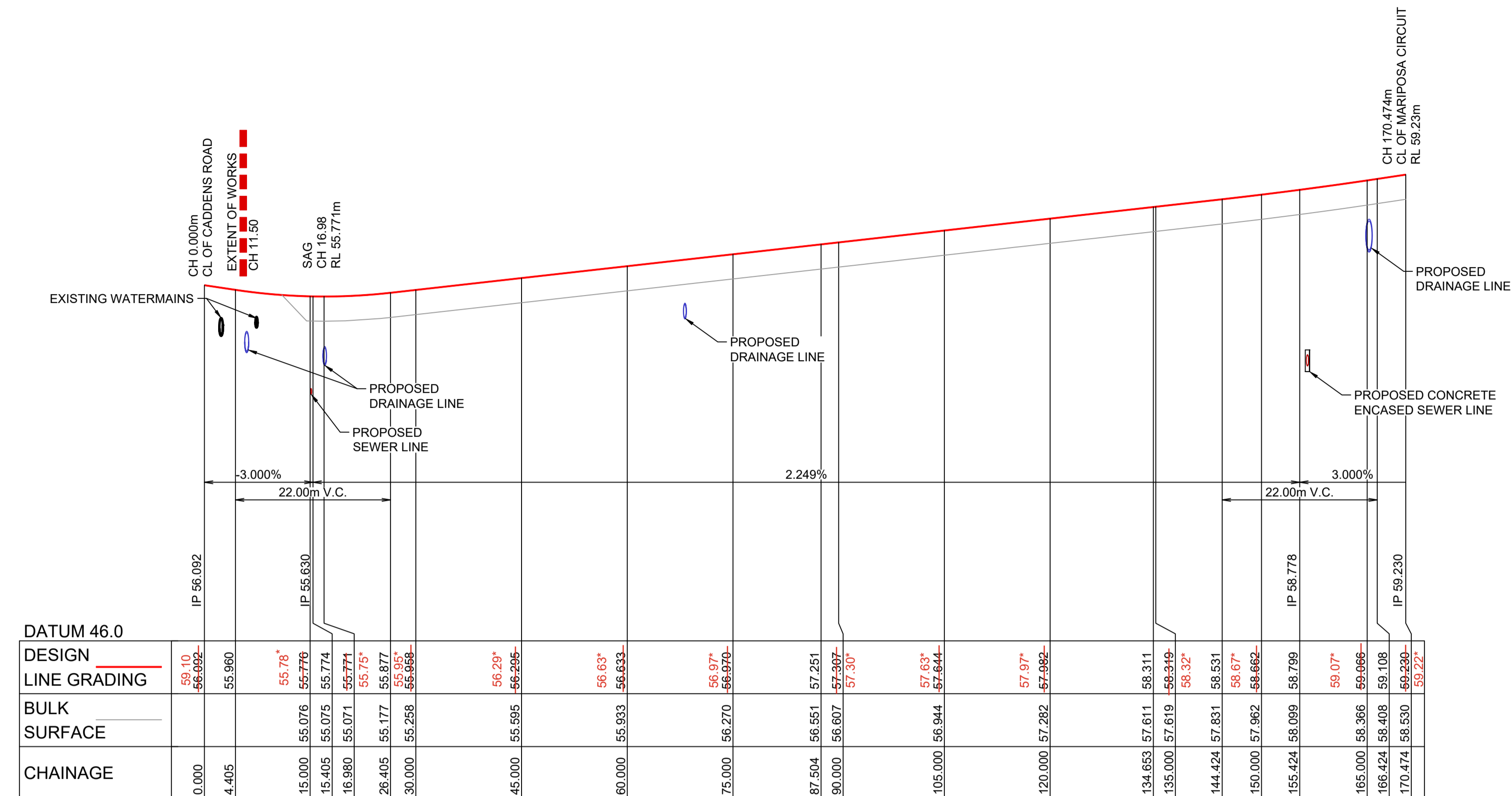
LEGACYPROPERTY

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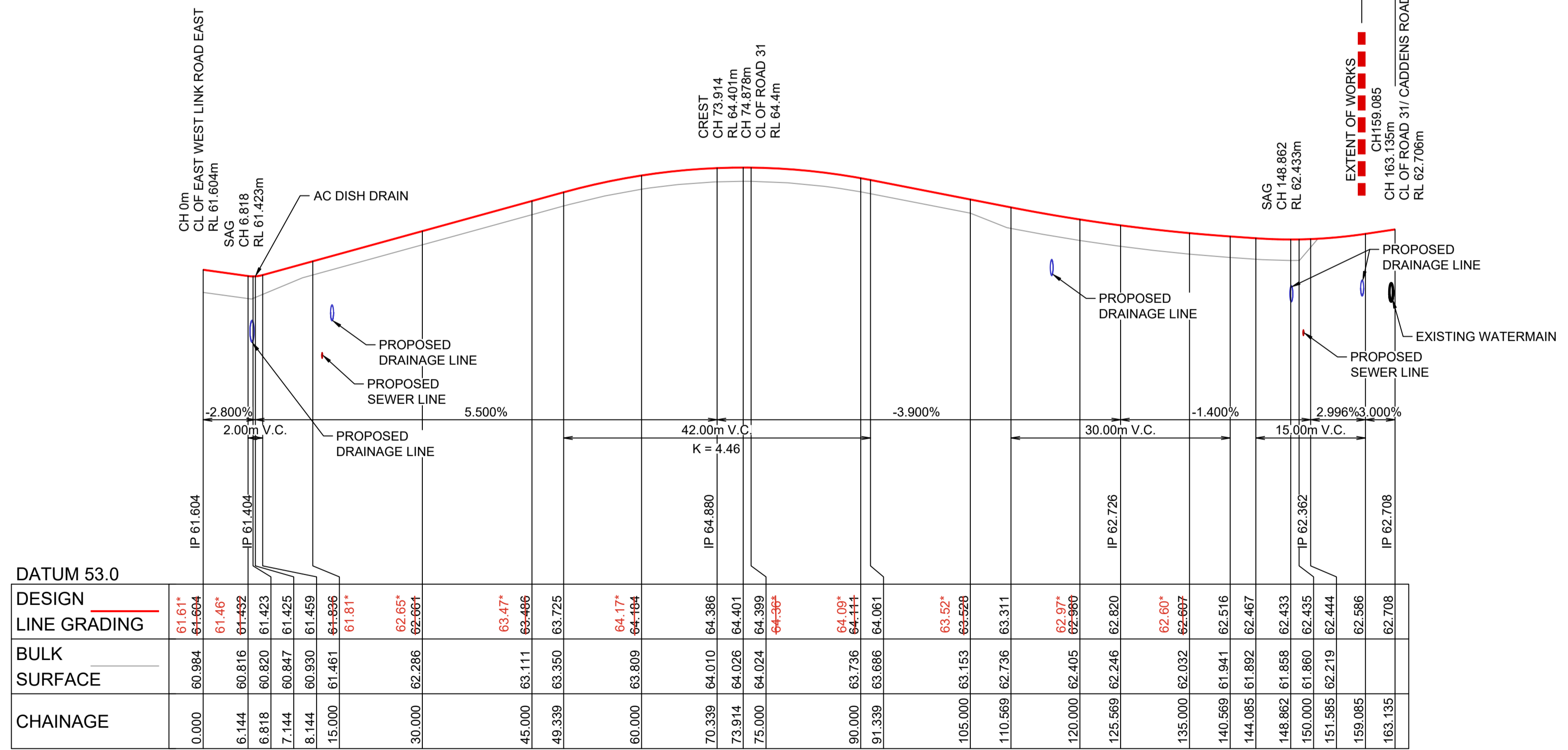
ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 ENGINEERING PLAN
 SHEET 4

PROJECT No:
110265-09
 SHEET No:
DD20053
 PLAN No: 110265-09-DD20053

SUBSOIL DRAINAGE SHALL BE PROVIDED UNDER KERBS ON BOTH SIDES OF ROADS EXCEPT WHERE STREET LONGITUDINAL DRAINAGE PIPE IS PRESENT REFER STANDARD DRAWING SD 2004.



LONGITUDINAL SECTION ROAD 1
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100

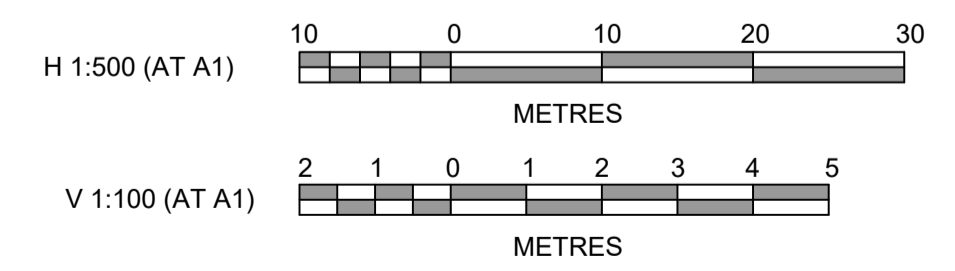


LONGITUDINAL SECTION ROAD 30
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

* DENOTES LEVEL OBSERVED ON FIRST COAT OF AC ONLY

PENRITH CITY COUNCIL
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SEWER UPDATED

Plotted: 18 August, 2025 10:50:39 AM File Name: C:\Synergy\W\State\IAS\WP07110265-09 - Precinct 1 Development_135331\Design\DD\Stage 2 SWC\110265-09-DD20100.dwg

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jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

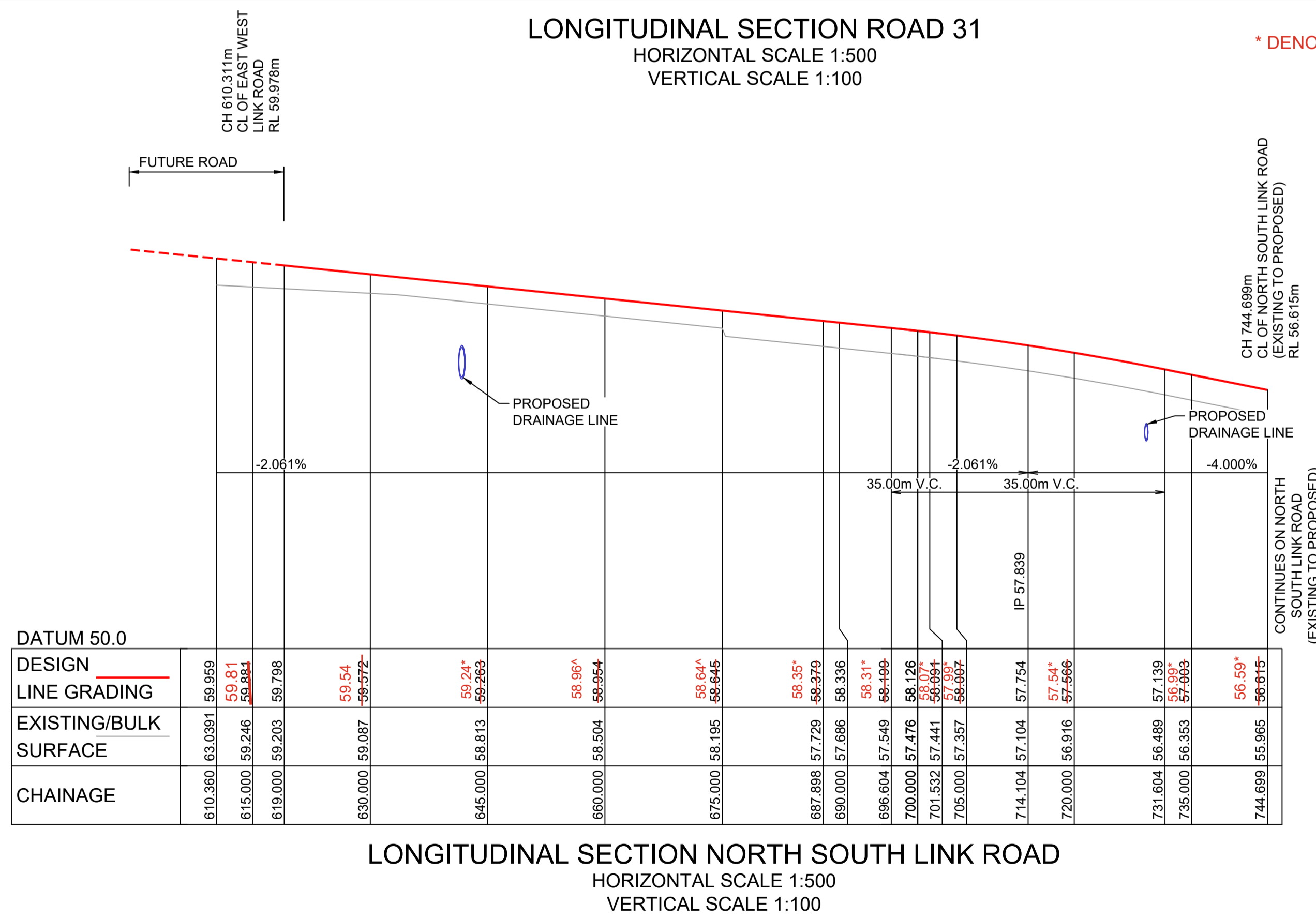
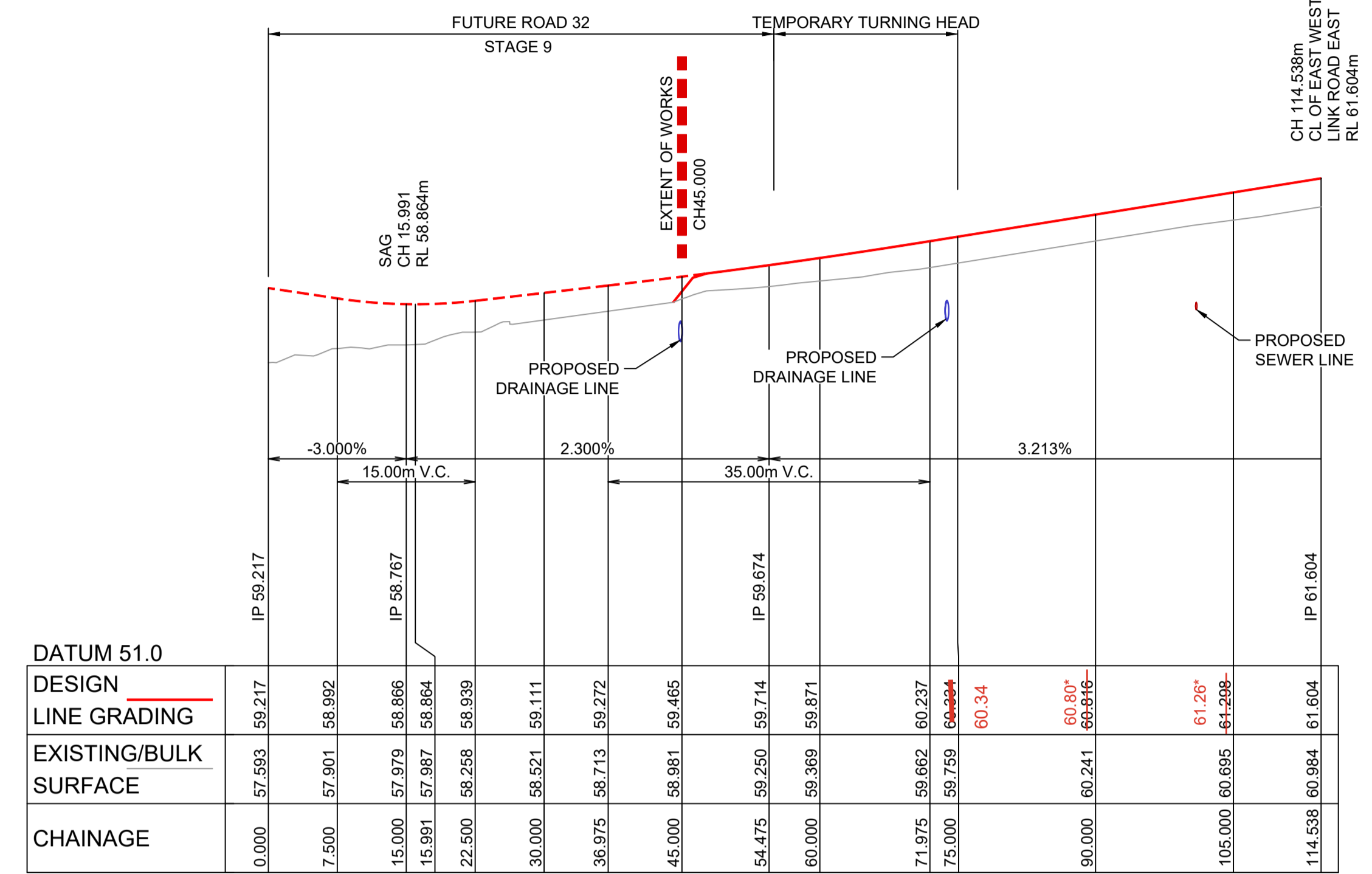
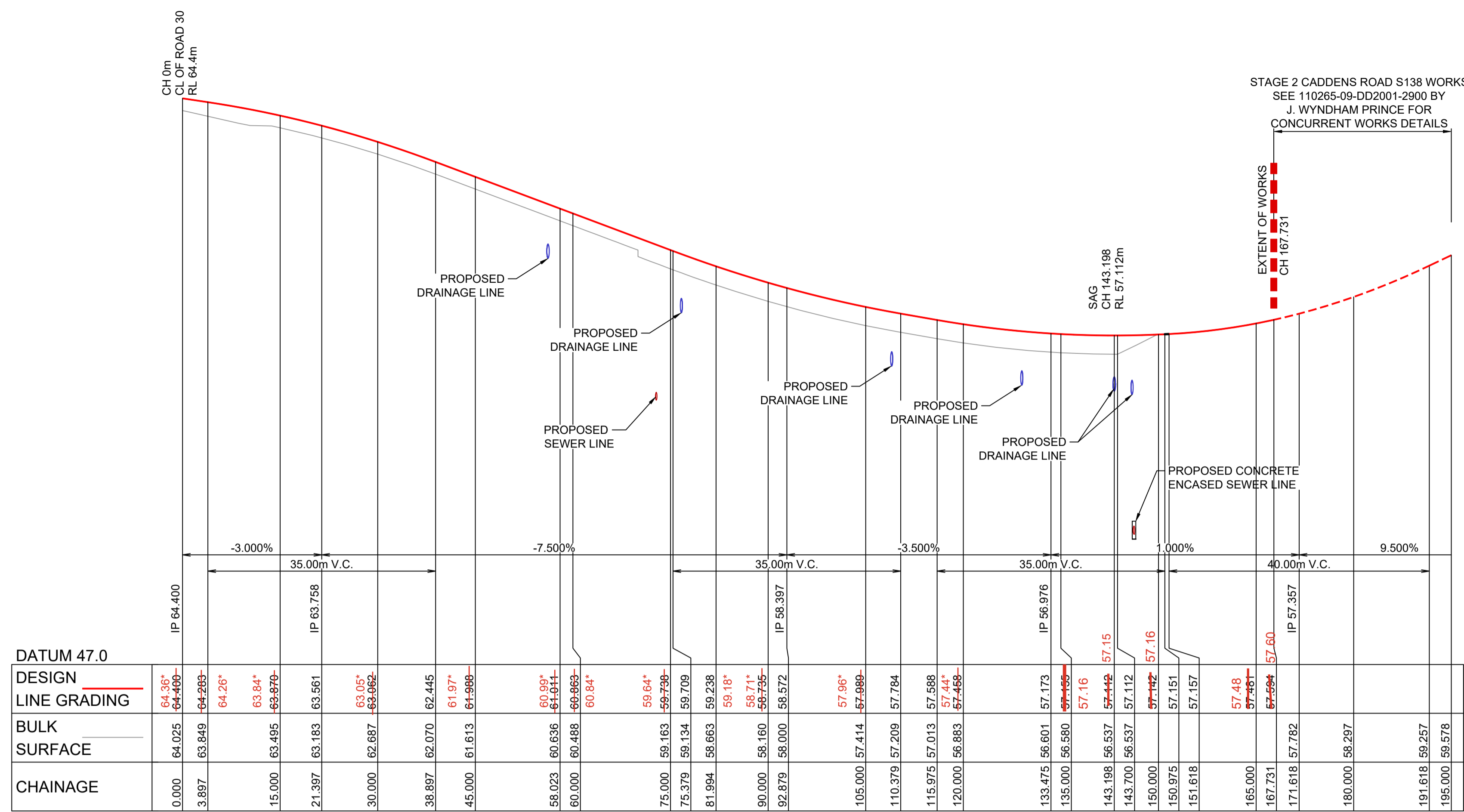
STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
ROAD LONGITUDINAL SECTIONS
SHEET 1

PROJECT No:
110265-09
SHEET No:
DD20100

AZIMUTH: M.G.A. 2020	DATUM: A.H.D.	ORIGIN: SSM 1112	PLAN No: 110265-09-DD20100	D
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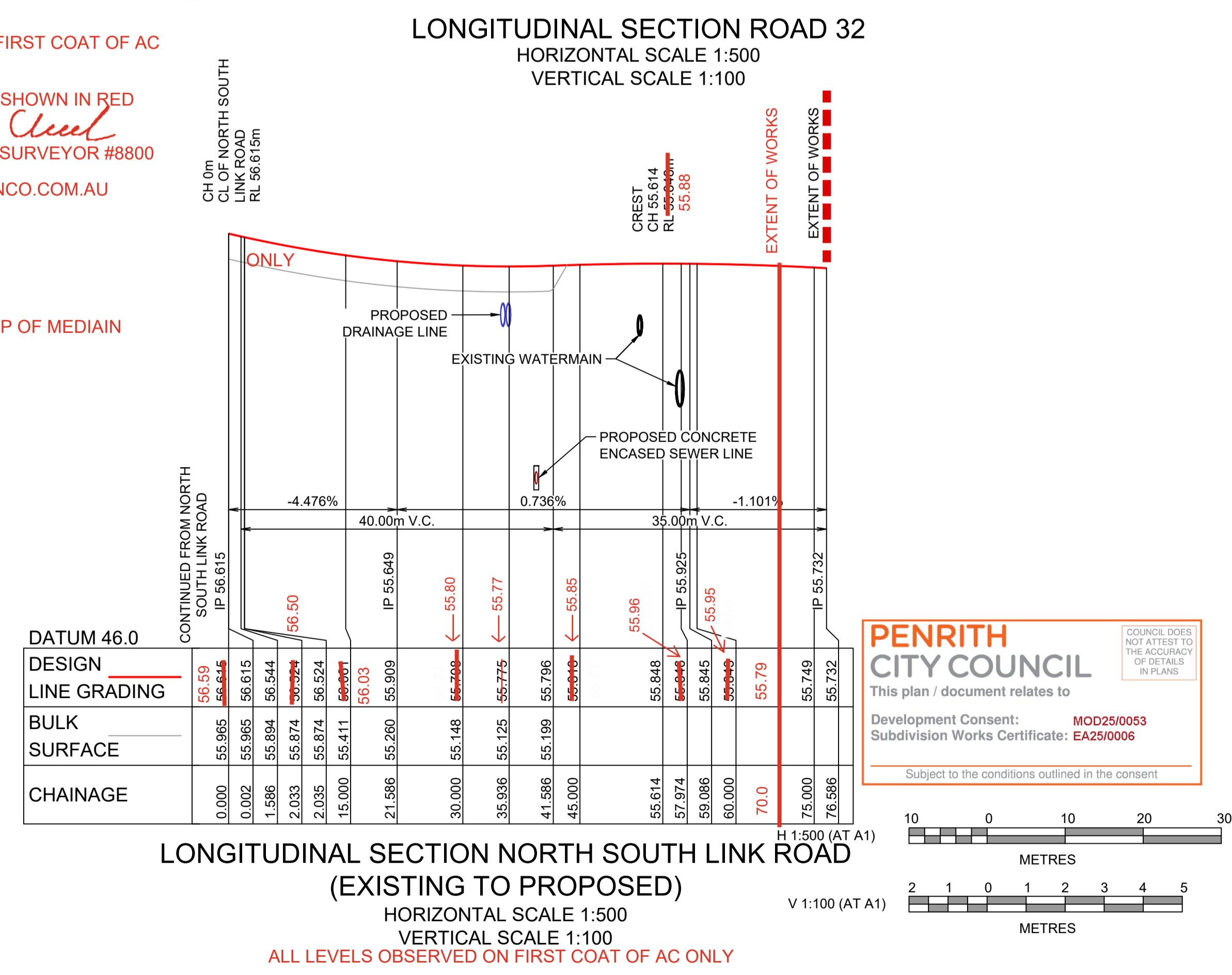
SUBSOIL DRAINAGE SHALL BE PROVIDED UNDER KERBS ON BOTH SIDES OF ROADS EXCEPT WHERE STREET LONGITUDINAL DRAINAGE PIPE IS PRESENT REFER STANDARD DRAWING SD 2004.



* DENOTES LEVEL OBSERVED ON FIRST COAT OF AC

WORKS AS EXECUTED AS SHOWN IN RED NAME: CRAIG S LONARD
 SIGNATURE: *Craig Lonard*
 CAPACITY: REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

^ DENOTES LEVEL ON TOP OF MEDIAN

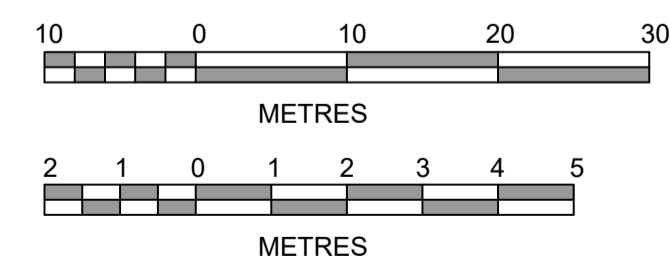


PENRITH CITY COUNCIL

This plan / document relates to

Development Consent: MOD25/0053
 Subdivision Works Certificate: EA25/0006

Subject to the conditions outlined in the consent



SEWER UPDATED

Plotted: 18 August, 2025 10:50:42 AM File Name: C:\Synergy\W\State\IAS\WP07110265-09 - Precinct 1 Development_135331\Design\DD\Stage 2 SWC\110265-09-DD20100.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
D	SEWER UPDATED	MMC	GA	RT	18/08/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	06/12/24

jwp

LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:

LEGACYPROPERTY

STATUS:

ISSUE FOR SWC APPROVAL

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 ROAD LONGITUDINAL SECTIONS
 SHEET 2

PROJECT No: 110265-09
 SHEET No: DD20101

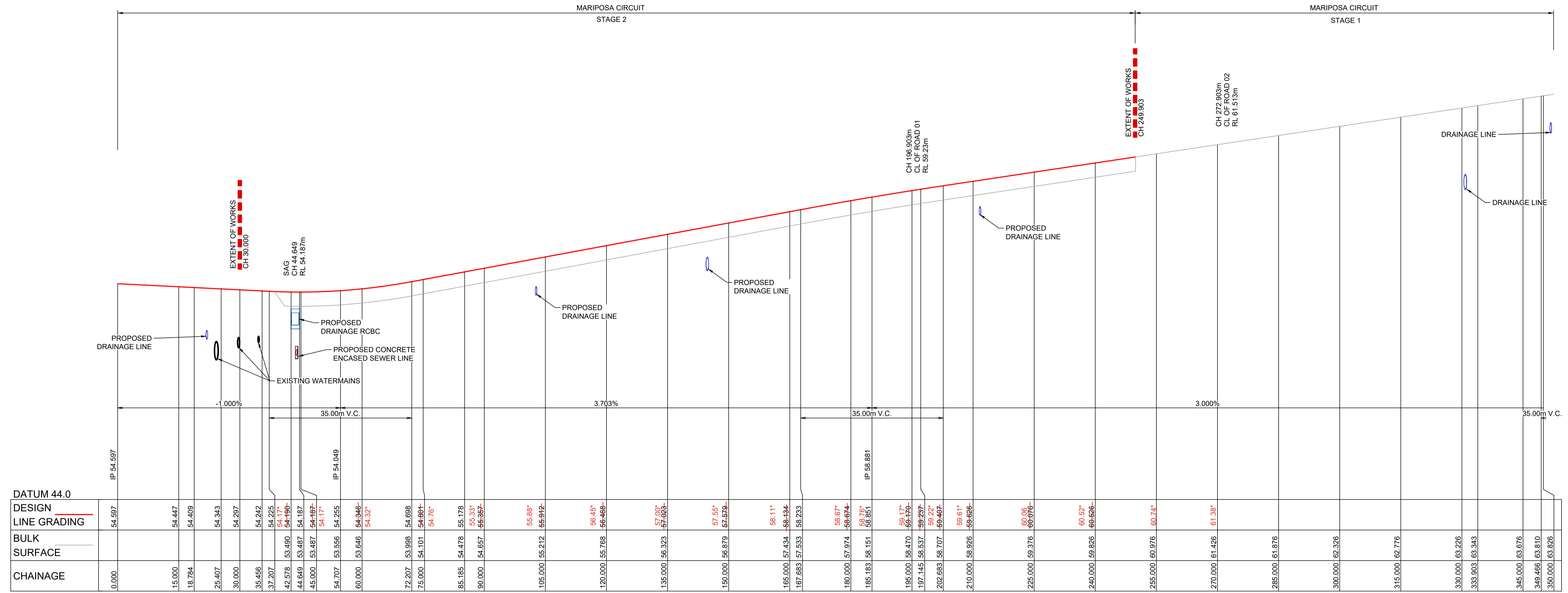
AZIMUTH: M.G.A. 2020
 DATUM: A.H.D.
 ORIGIN: SSM 1112
 PLAN No: 110265-09-DD20101

D

SUBSOIL DRAINAGE SHALL BE PROVIDED UNDER KERBS ON BOTH SIDES OF ROADS EXCEPT WHERE STREET LONGITUDINAL DRAINAGE PIPE IS PRESENT REFER STANDARD DRAWING SD 2004.

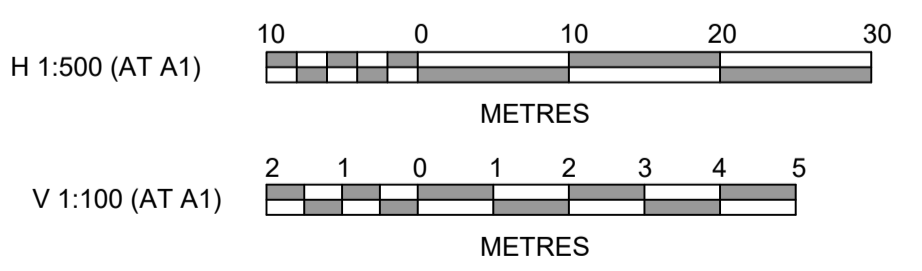
WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

* DENOTES LEVEL OBSERVED ON FIRST COAT OF AC ONLY



LONGITUDINAL SECTION MARIPOSA CIRCUIT
 HORIZONTAL SCALE 1:500
 VERTICAL SCALE 1:100

PENRITH CITY COUNCIL
 This plan / document relates to
 Development Consent: MOD25/0053
 Subdivision Works Certificate: EA25/0006
 Subject to the conditions outlined in the consent



SEWER UPDATED

AMENDMENT	DES	DRN	CKD	APR	DATE	
D	SEWER UPDATED	MMC	GA	RT	RT	18/08/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
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jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 ROAD LONGITUDINAL SECTIONS
 SHEET 4

PROJECT No:
110265-09
 SHEET No:
DD20103

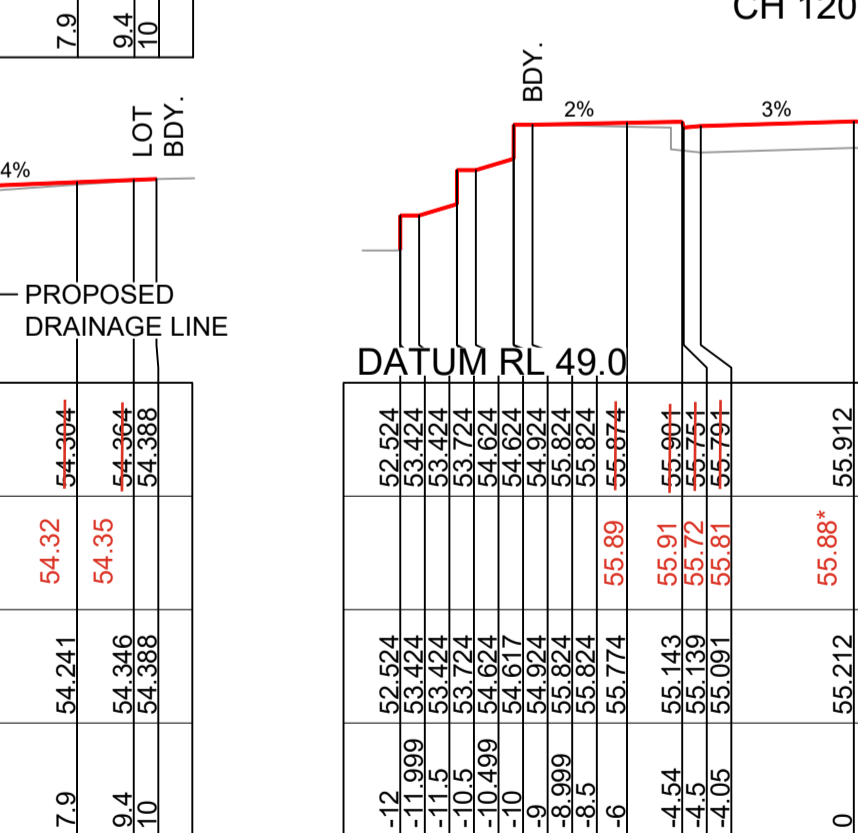
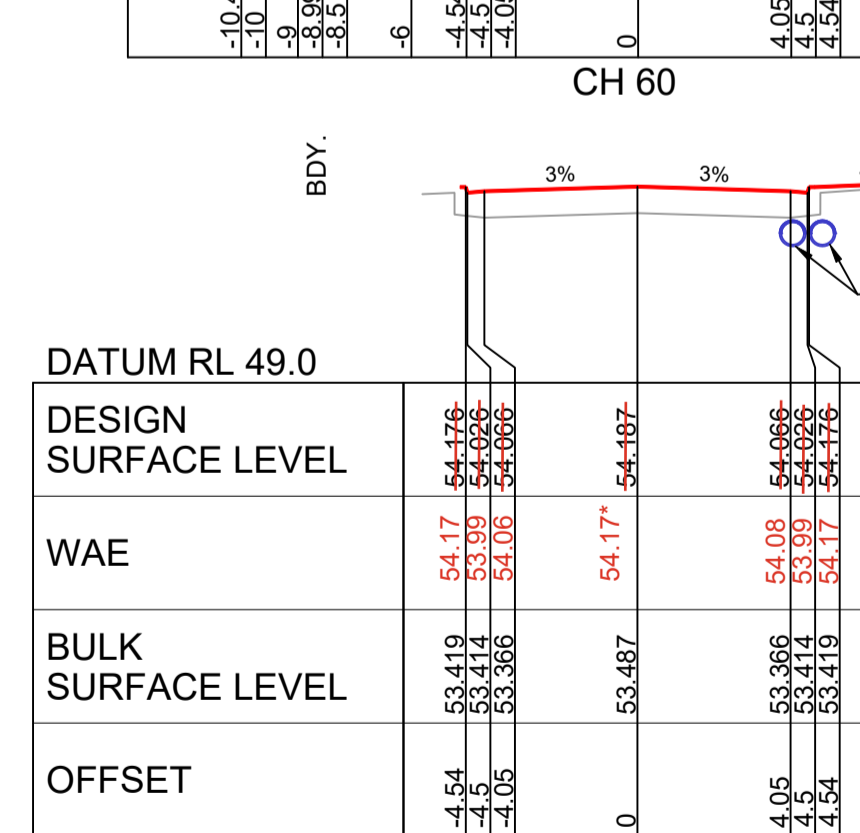
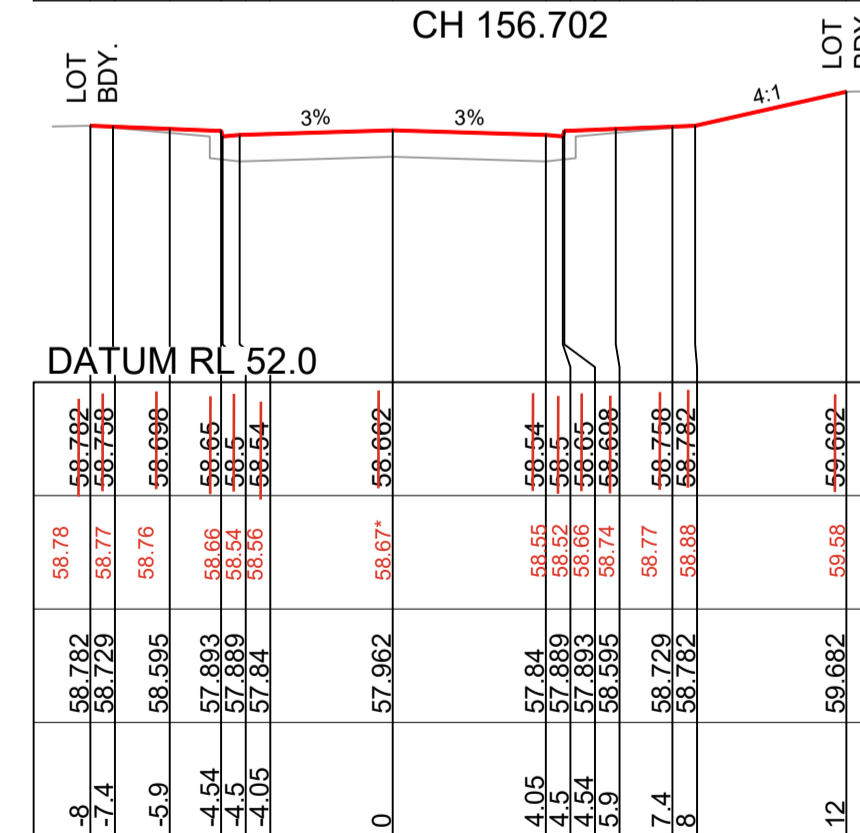
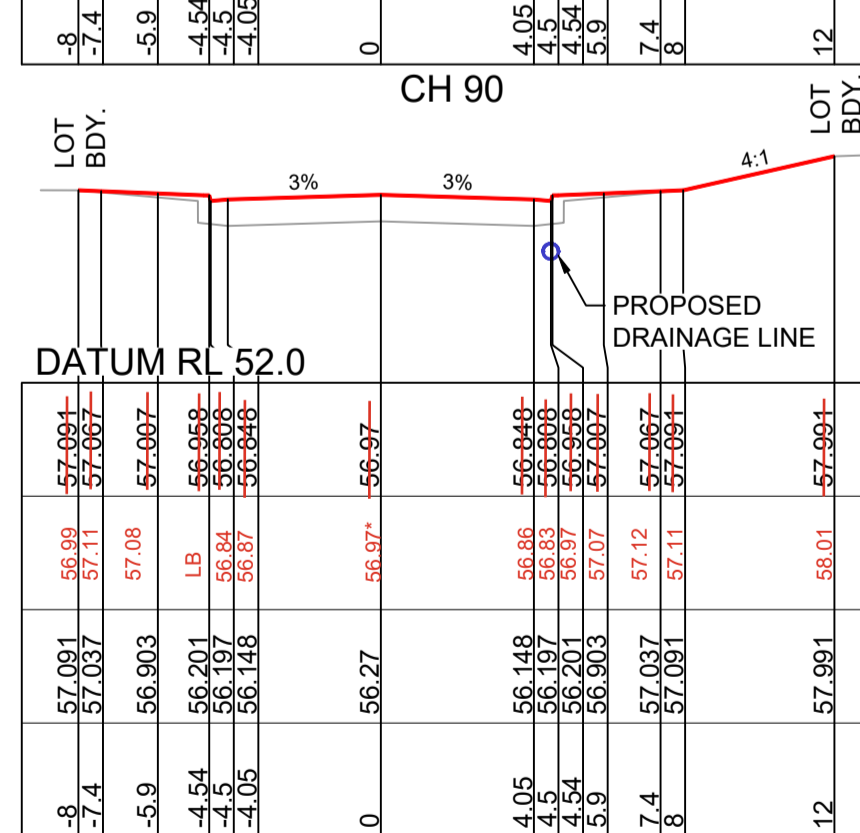
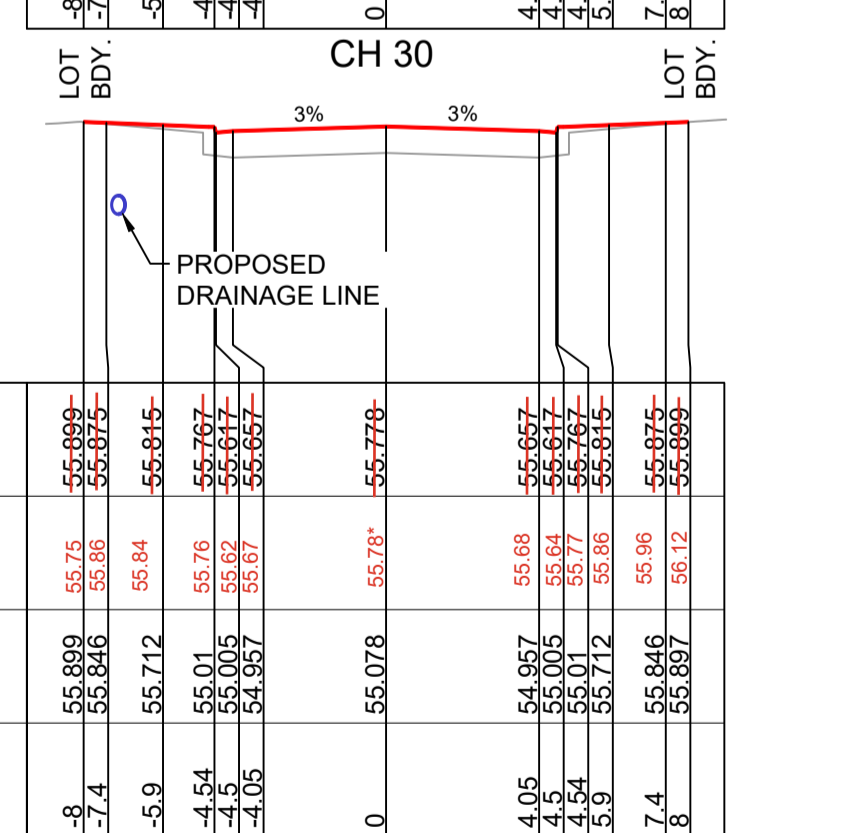
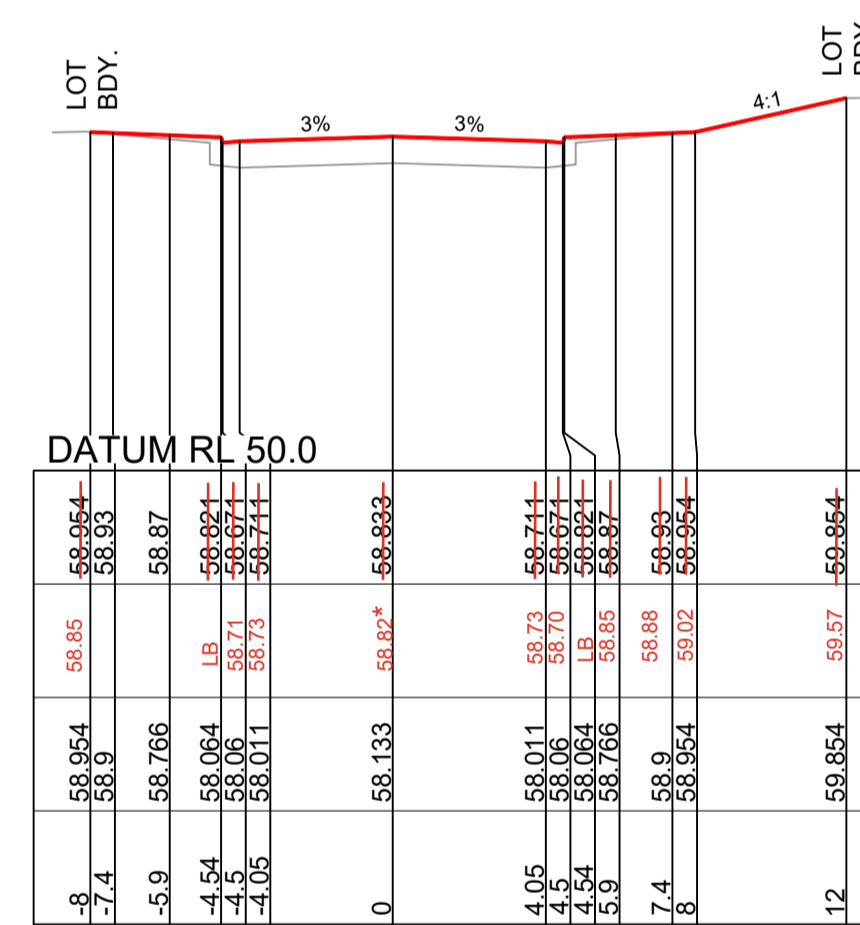
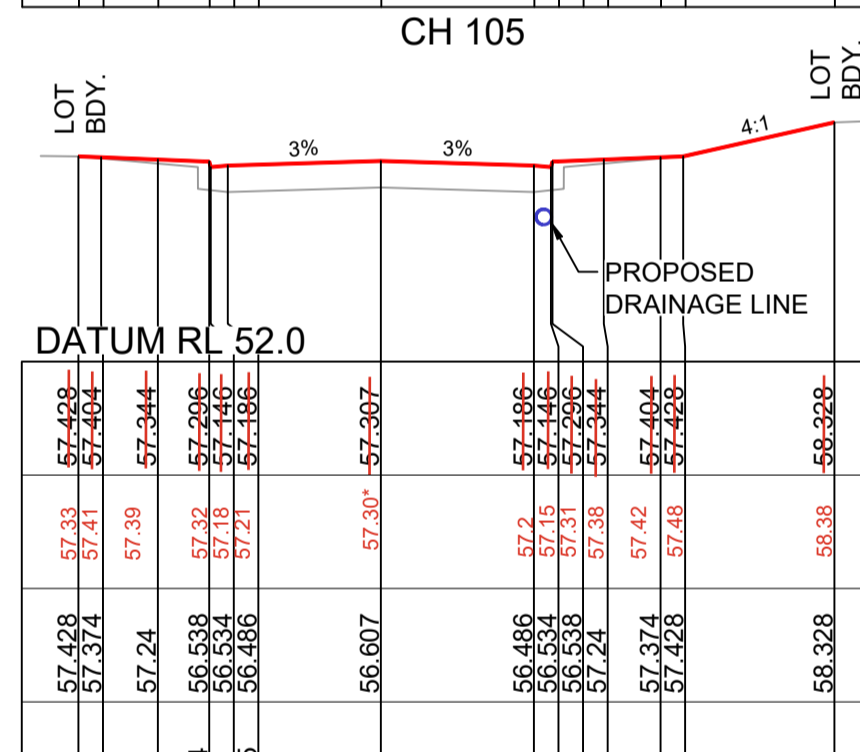
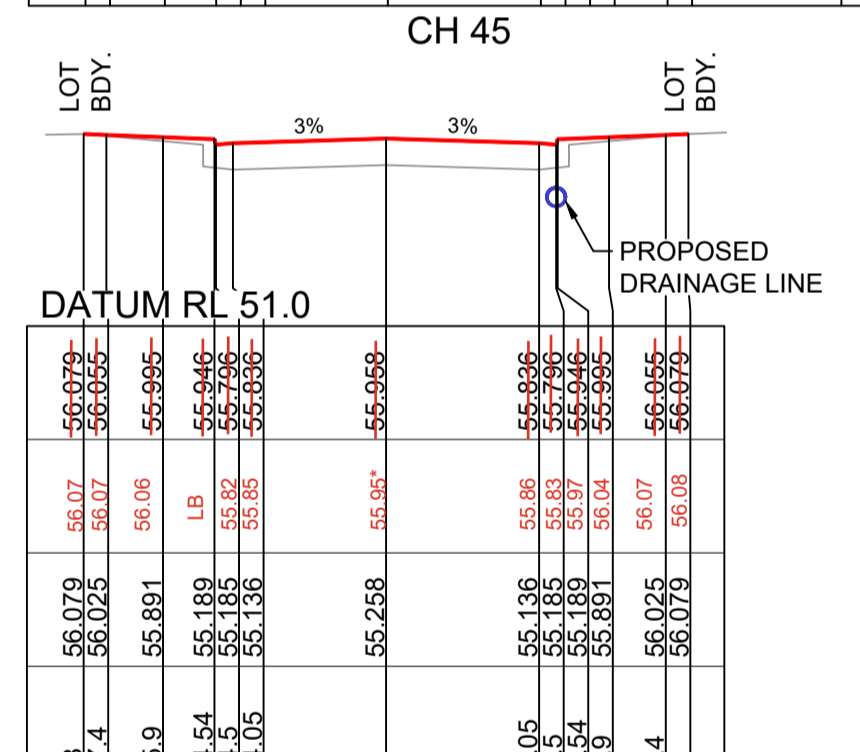
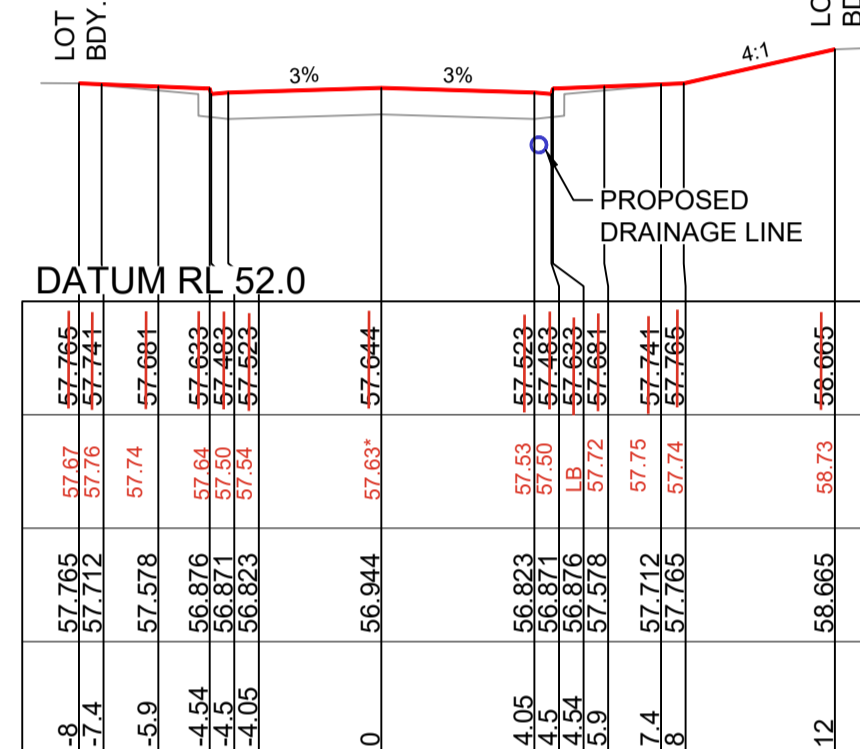
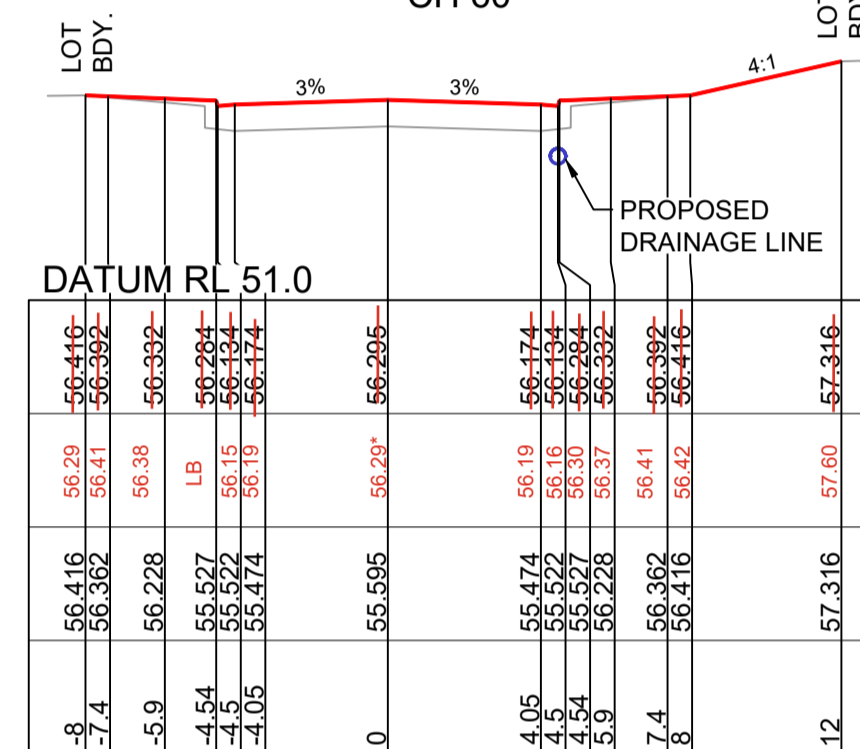
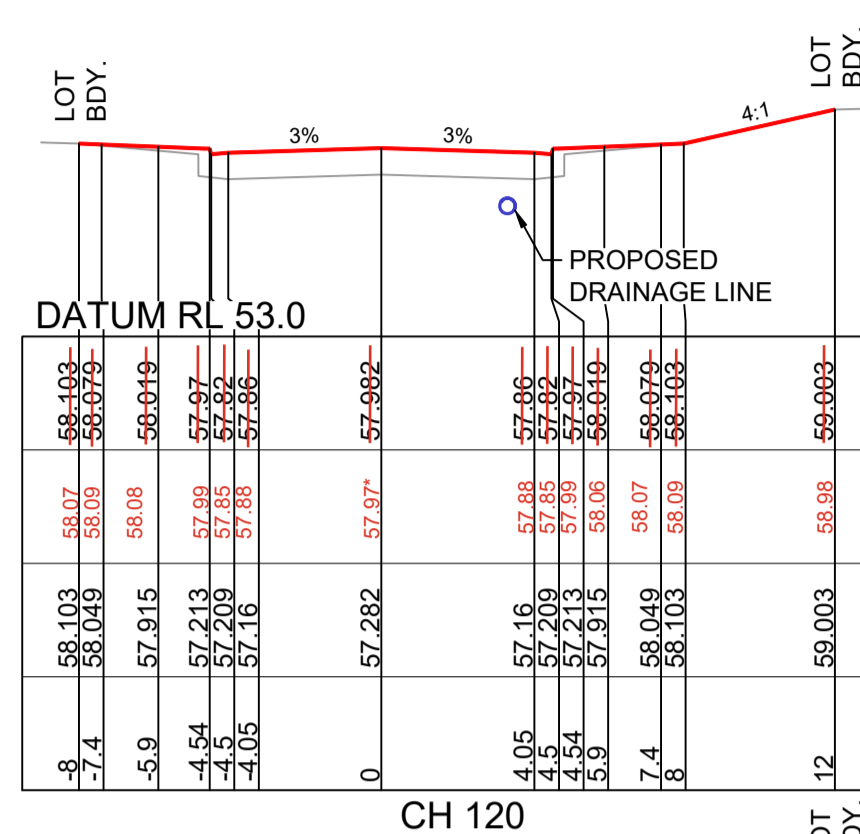
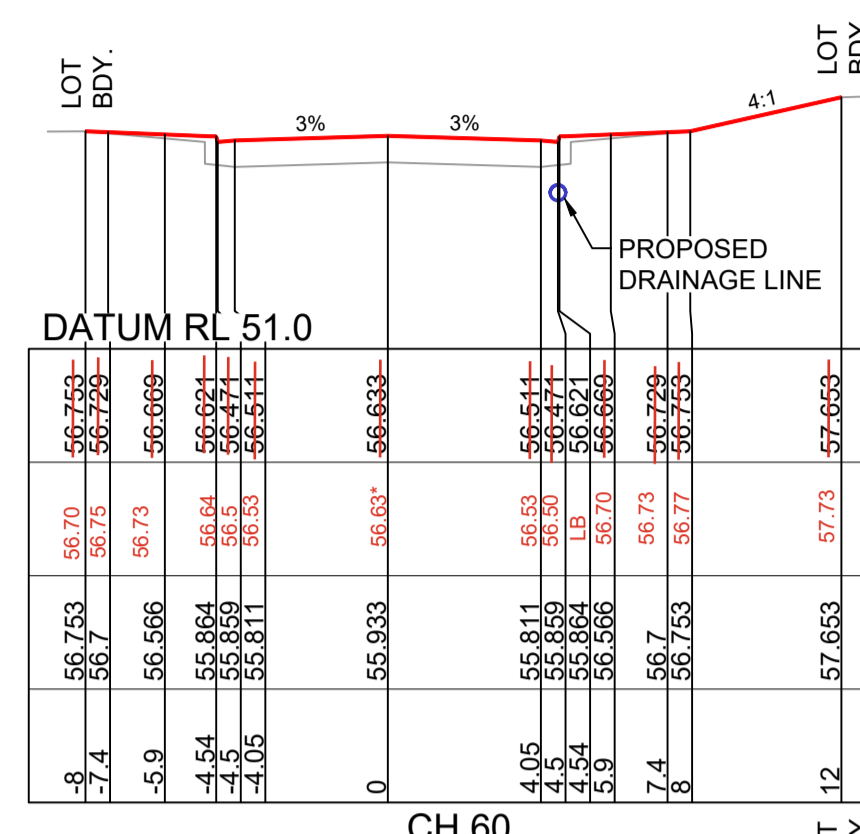
AZIMUTH: M.G.A. 2020
 DATUM: A.H.D.
 ORIGIN: SSM 1112
 PLAN No: 110265-09-DD20103
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Plotted: 18 August, 2025 10:50:44 AM File Name: C:\Synergy\W\State\IAS\WP071110265-09 - Precinct 1 Development_135331\Design\DD\Stage 2 SWC\110265-09-DD20100.dwg

NOTE
FOR LOT GRADING BEYOND SITE
BOUNDARY REFER TO DD1050-1051

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent

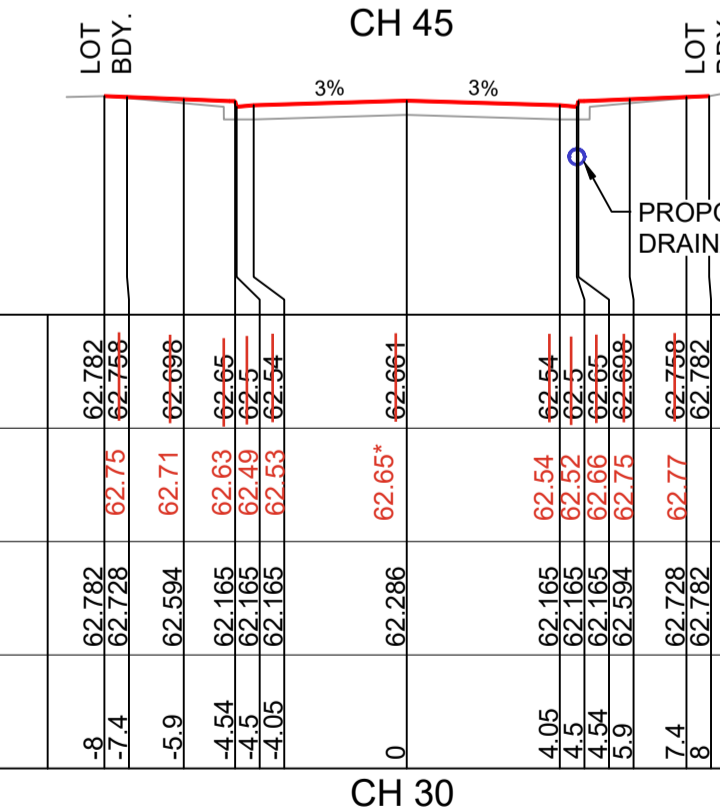
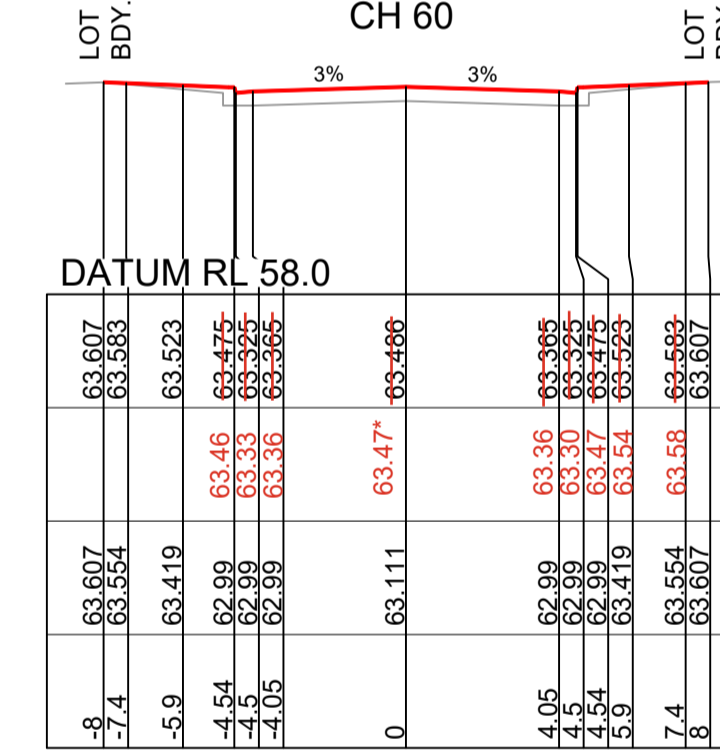
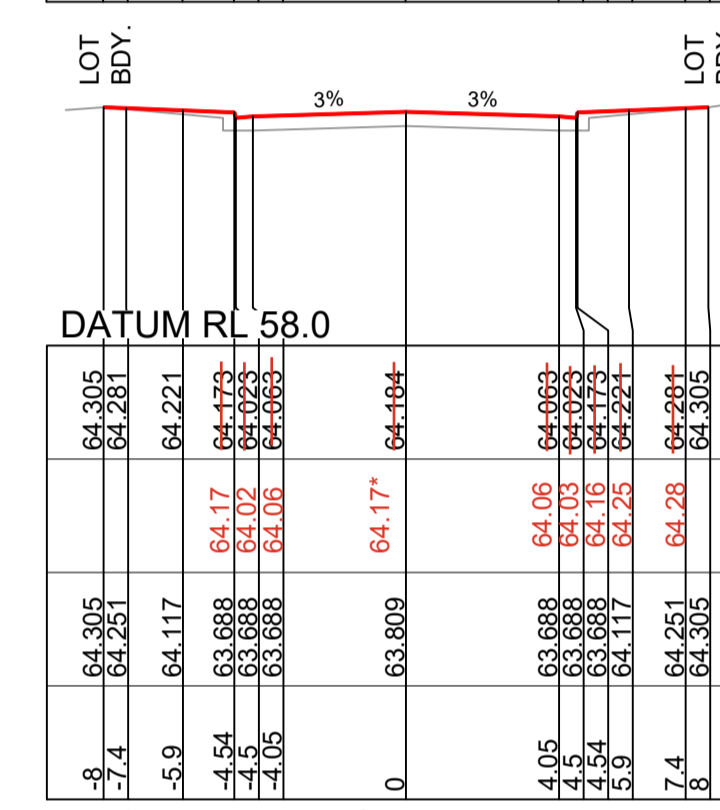
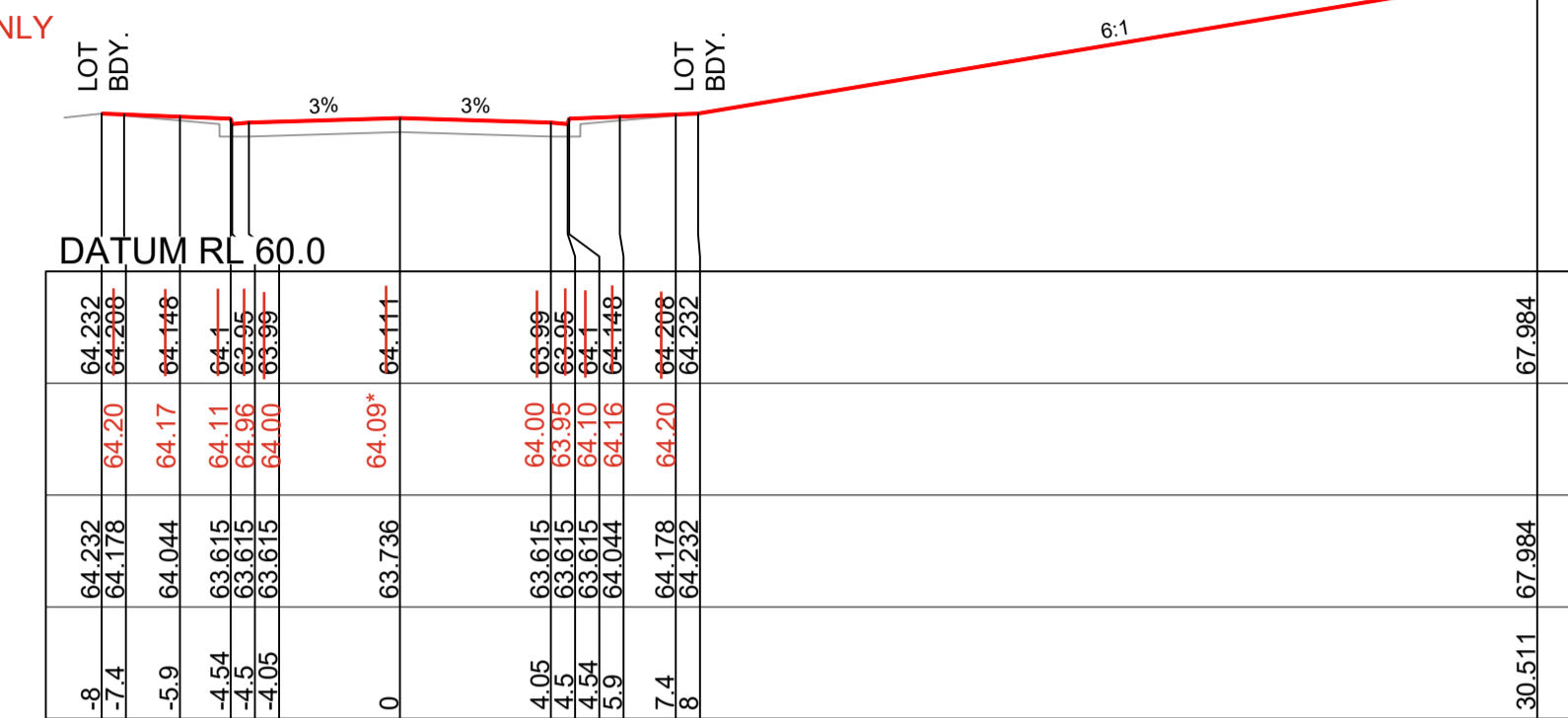
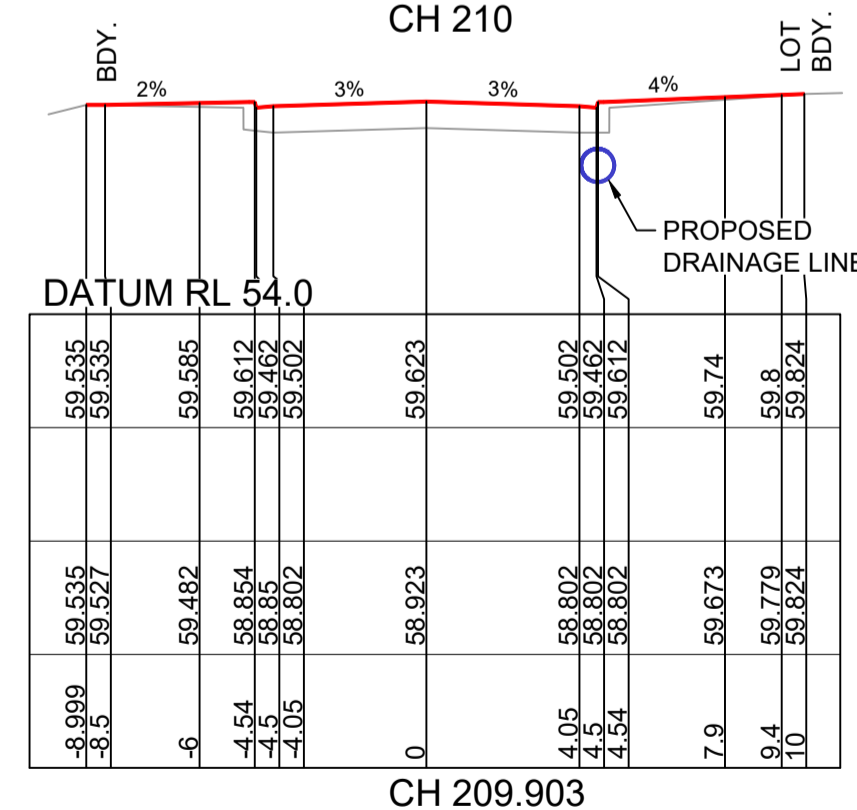
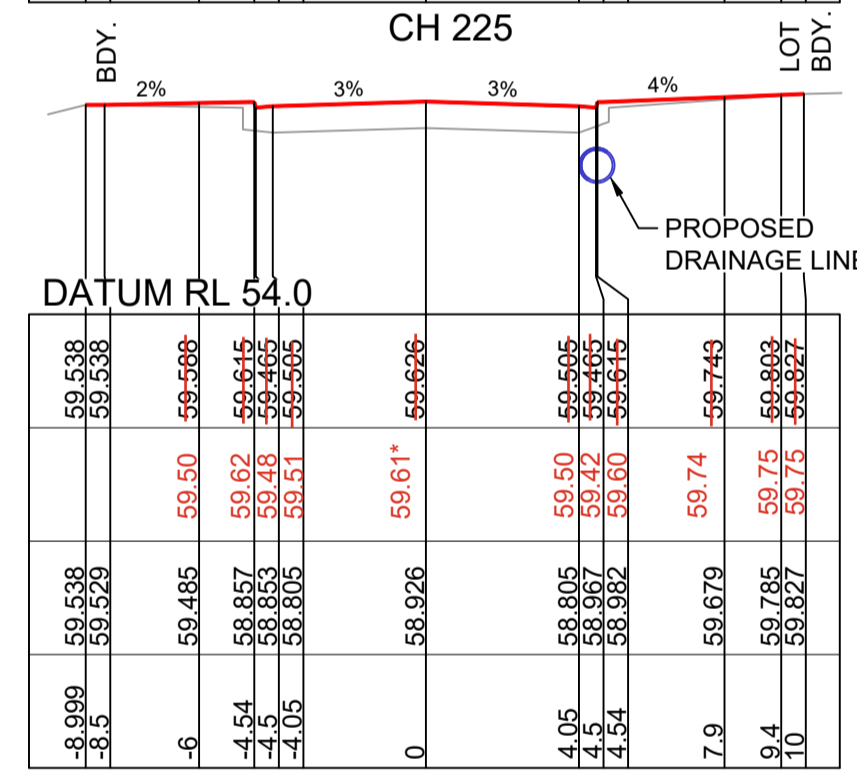
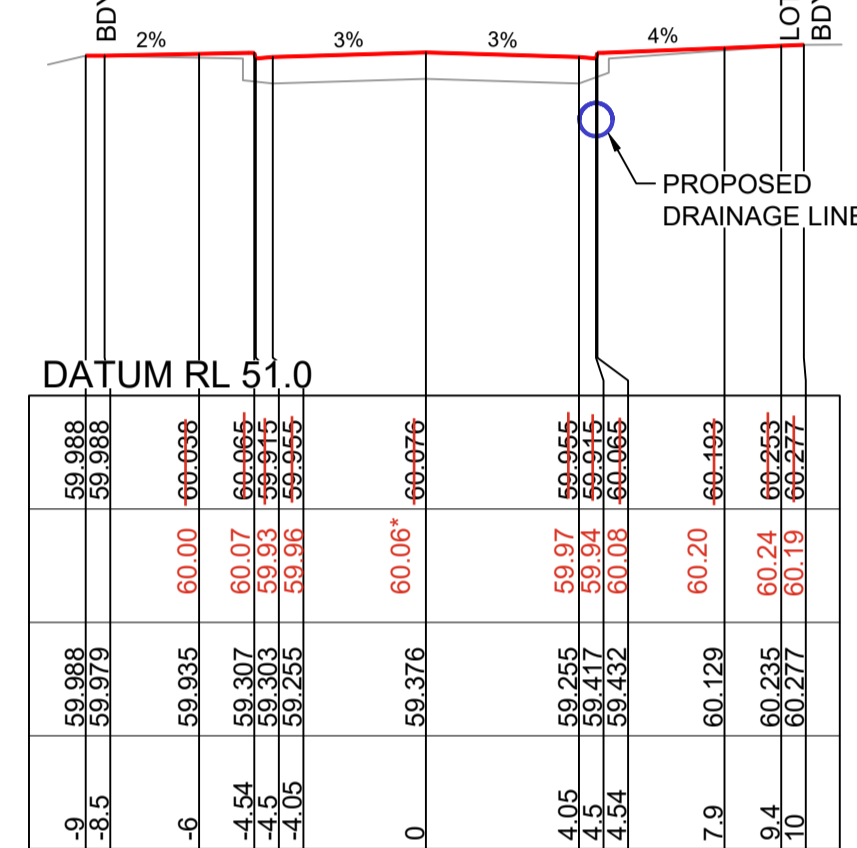
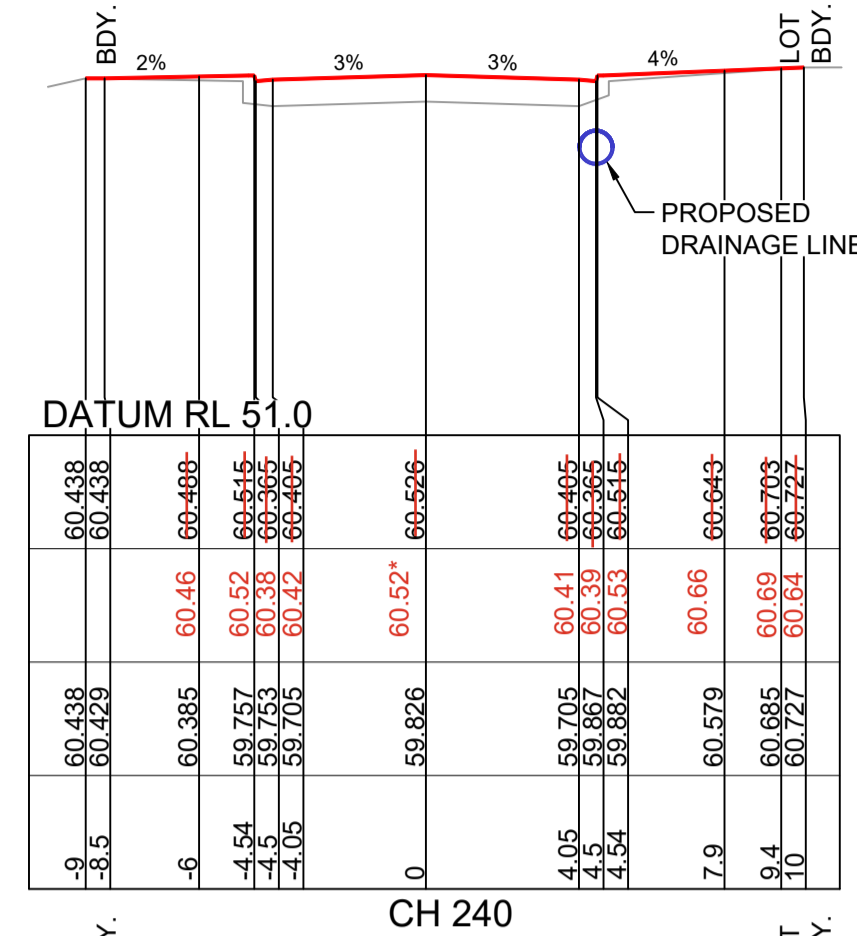
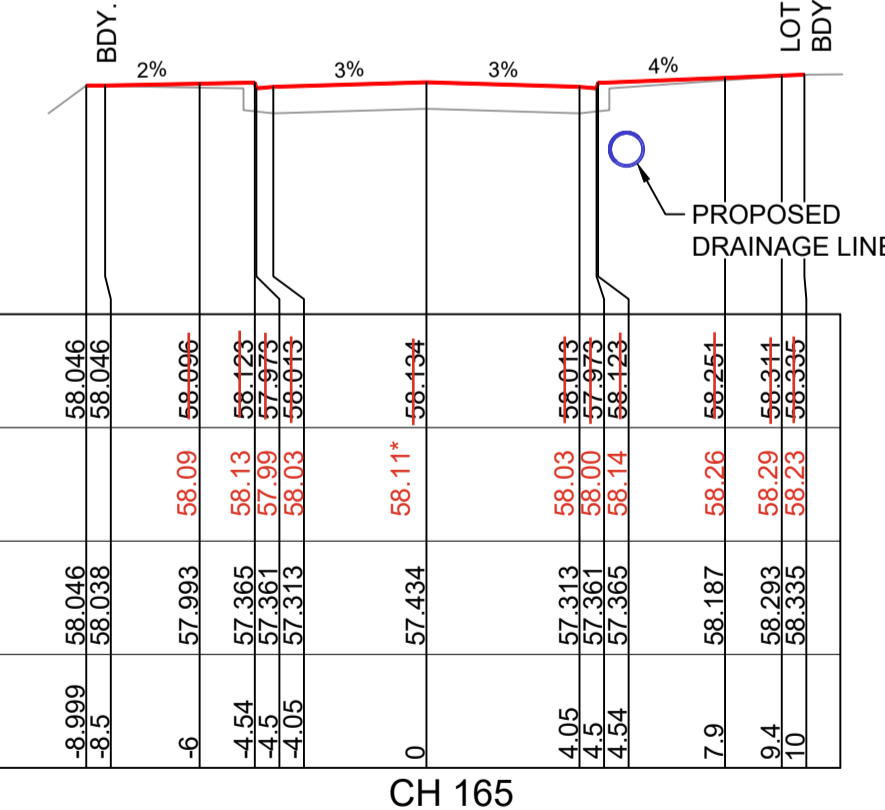
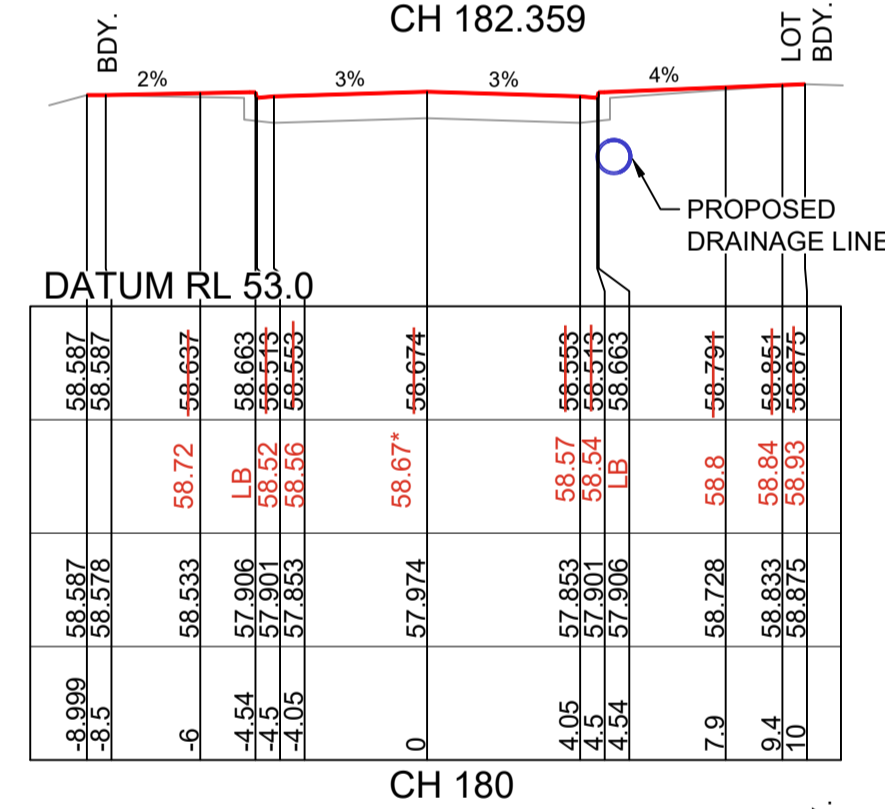
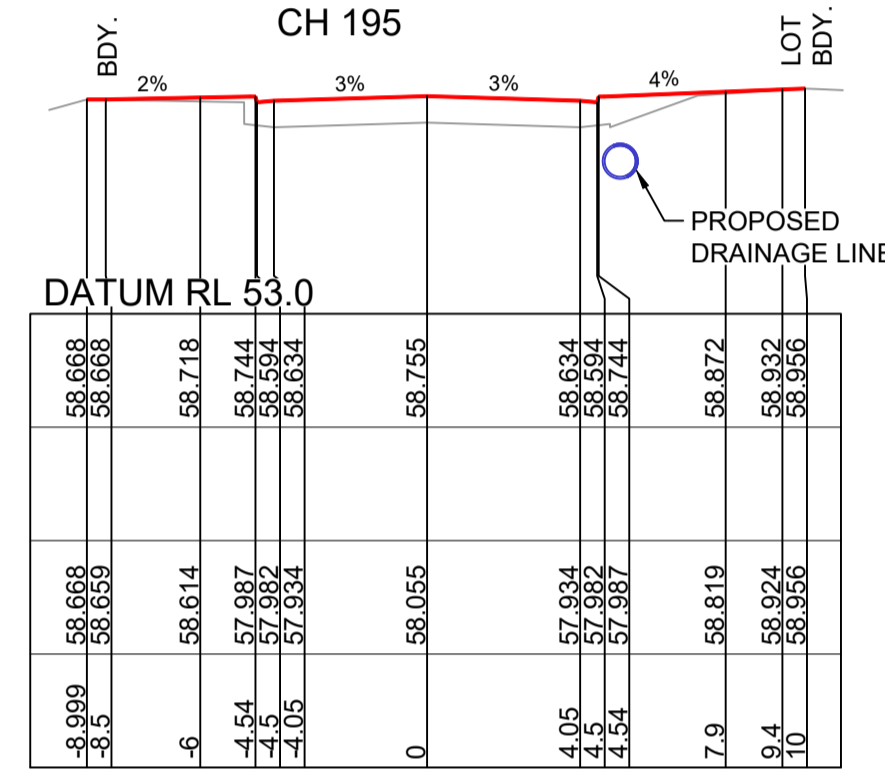
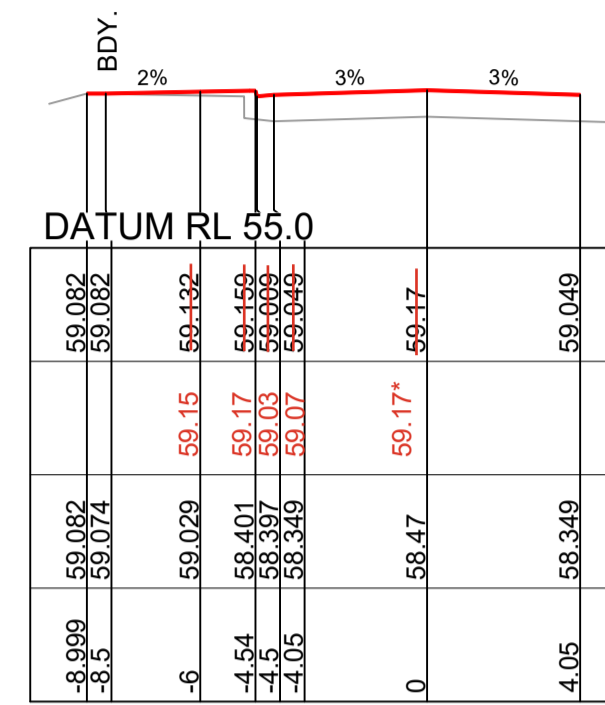
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS



NOTE
FOR LOT GRADING BEYOND SITE
BOUNDARY REFER TO DD1050-1051

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

* DENOTES LEVEL OF FIRST COAT OF AC ONLY

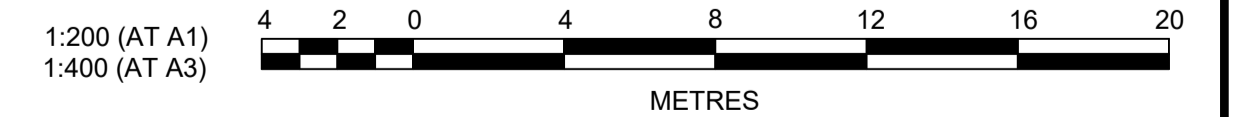


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-8.3	59.016	59.016	59.016
-6	57.893	58.09	58.086
-4.54	57.165	58.13	58.193
-4.5	57.161	57.99	57.993
-4.05	57.113	58.03	58.013
0	57.434	58.11*	58.194
4.05	57.113	58.03	58.013
4.5	57.161	57.99	57.993
4.54	57.166	58.14	58.163
7.9	58.187	58.26	58.261
9.4	58.293	58.29	58.311
10	58.335	58.23	58.385

CROSS SECTIONS MARIPOSA CIRCUIT

CROSS SECTIONS ROAD 30

SECTIONS UPDATED WITH PROPOSED DRAINAGE ADDED & NOTED; BULK EARTHWORKS SURFACE SHOWN



PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent.

Plotted: 18 August, 2025 10:50:48 AM File Name: C:\Synergy\W\State\IAS\WP07110265-09 - Precinct 1 Development\135331\Design\DD\Stage 2 SWC\110265-09-DD20200.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE	
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

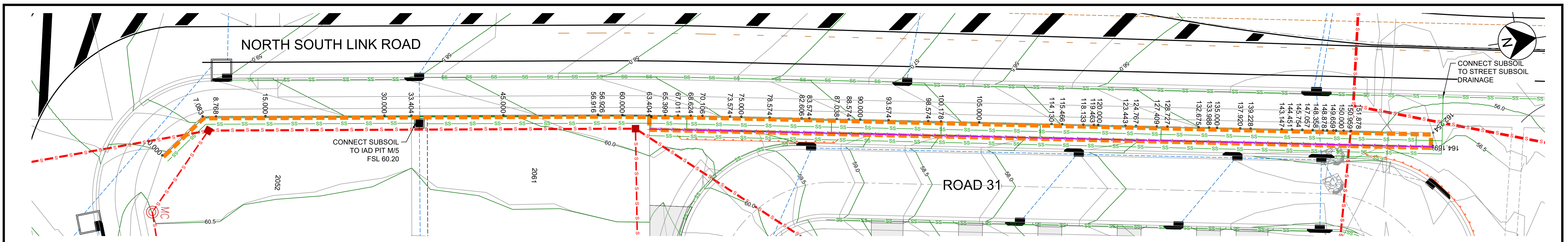
STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
ROAD CROSS SECTIONS
SHEET 2

PROJECT No: 110265-09
SHEET No: DD20201

PLAN No: 110265-09-DD20201

PROJECT No: 110265-09
SHEET No: DD20201
AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112



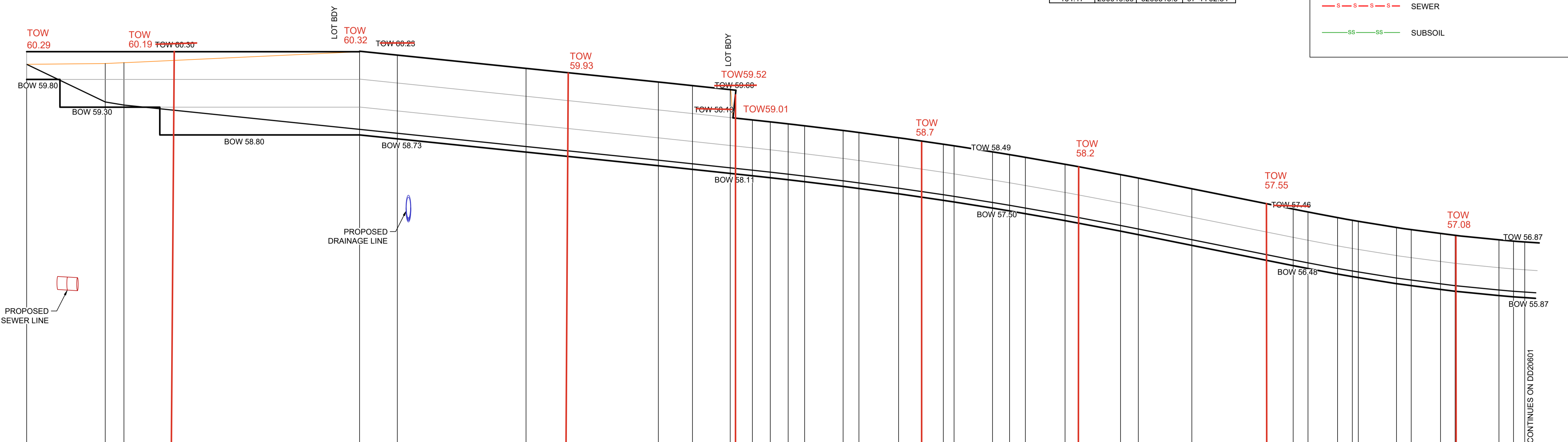
RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

RW 1			
CHAINAGE	EASTING	NORTHING	BEARING
0	290002.46	6260154.2	322°22'42.31"
7.08	289998.14	6260159.81	
56.92	290003.49	6260209.36	
63.4	290004.26	6260215.8	
70.11	290005.09	6260222.45	
162.25	290017.49	6260313.76	
164.17	290019.39	6260313.5	97°44'02.34"

LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERLOT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL



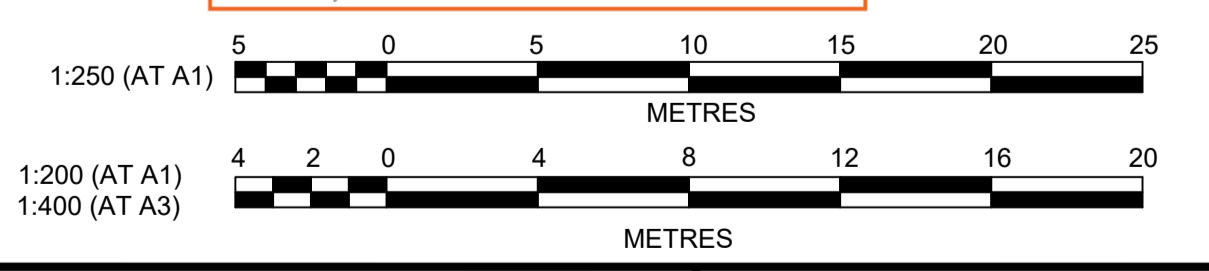
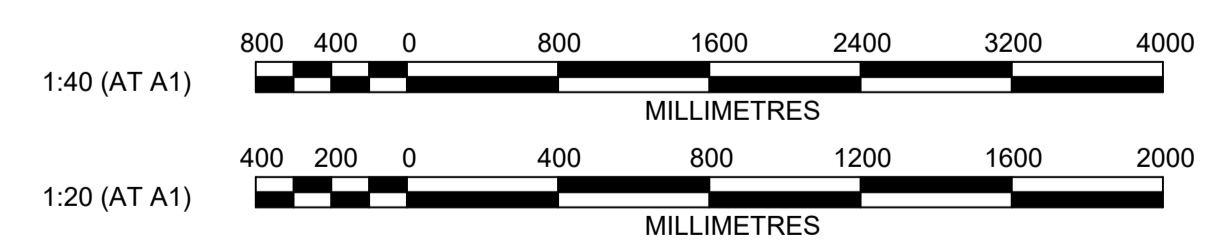
CHAINAGE	TOE OF WALL GROUND LEVELS	TOP OF WALL GROUND LEVELS
0.000	60.0	60.068
7.083	59.4	60.083
8.768	59.334	60.096
13.8	59.2	60.155
15.000	59.206	60.295
30.000	58.90	60.295
33.404	58.886	
45.000	58.086	60.086
48.60	58.50	60.086
56.926	58.840	59.840
60.000	58.776	59.776
63.403	58.2	59.061
64.1	58.2	59.061
65.389	59.026	59.026
67.011	58.989	58.989
68.624	58.954	58.954
70.106	58.870	58.870
73.574	58.832	58.832
75.000	58.737	58.737
78.574	58.619	58.619
82.006	58.589	58.589
83.574	58.479	58.479
87.038	58.429	58.429
88.574	58.379	58.379
90.000	58.254	58.254
93.574	58.065	58.065
94.8	58.002	58.002
98.574	57.809	57.809
100.178	57.444	57.444
105.000	57.392	57.392
111.2	56.65	56.65
114.130	56.346	56.346
115.466	56.329	56.329
118.133	56.218	56.218
119.463	56.183	56.183
120.000	56.114	56.114
123.443	56.084	56.084
124.767	56.081	56.081
127.409	56.003	56.003
128.727	55.980	55.980
132.675	55.966	55.966
133.988	55.966	55.966
135.000	55.966	55.966

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS FOR CONCRETE SLEEPER WALLS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

LONGITUDINAL SECTION RW 1
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

SEWER UPDATED



PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
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Patched: 20 August, 2025 7:33:57 PM File Name: C:\Synergy\W\Sidra\AS\JWP\0110265-09 - Precinct 1 Development_13633\Design\DD\Stage 2 SWC\110265-09-DD20600.dwg

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E	SEWER UPDATED	MMC	GA	RT	18/08/25
D	ADDRESS COUNCIL COMMENTS - SECTION UPDATED	MMC	GA	RT	29/05/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

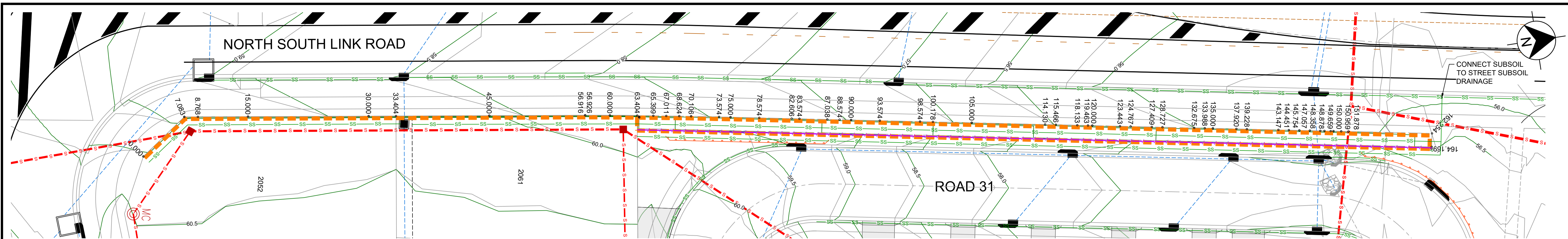
CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 1

AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112
PLAN No: 110265-09-DD20600

PROJECT No:
110265-09
SHEET No:
DD20600
E



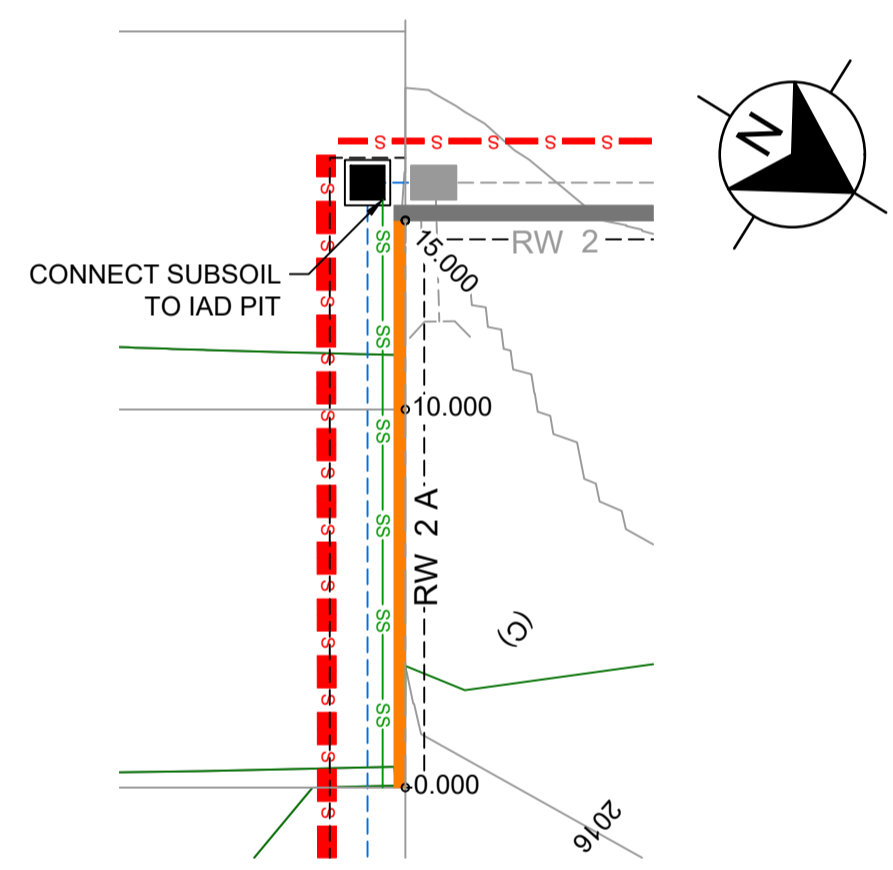
RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

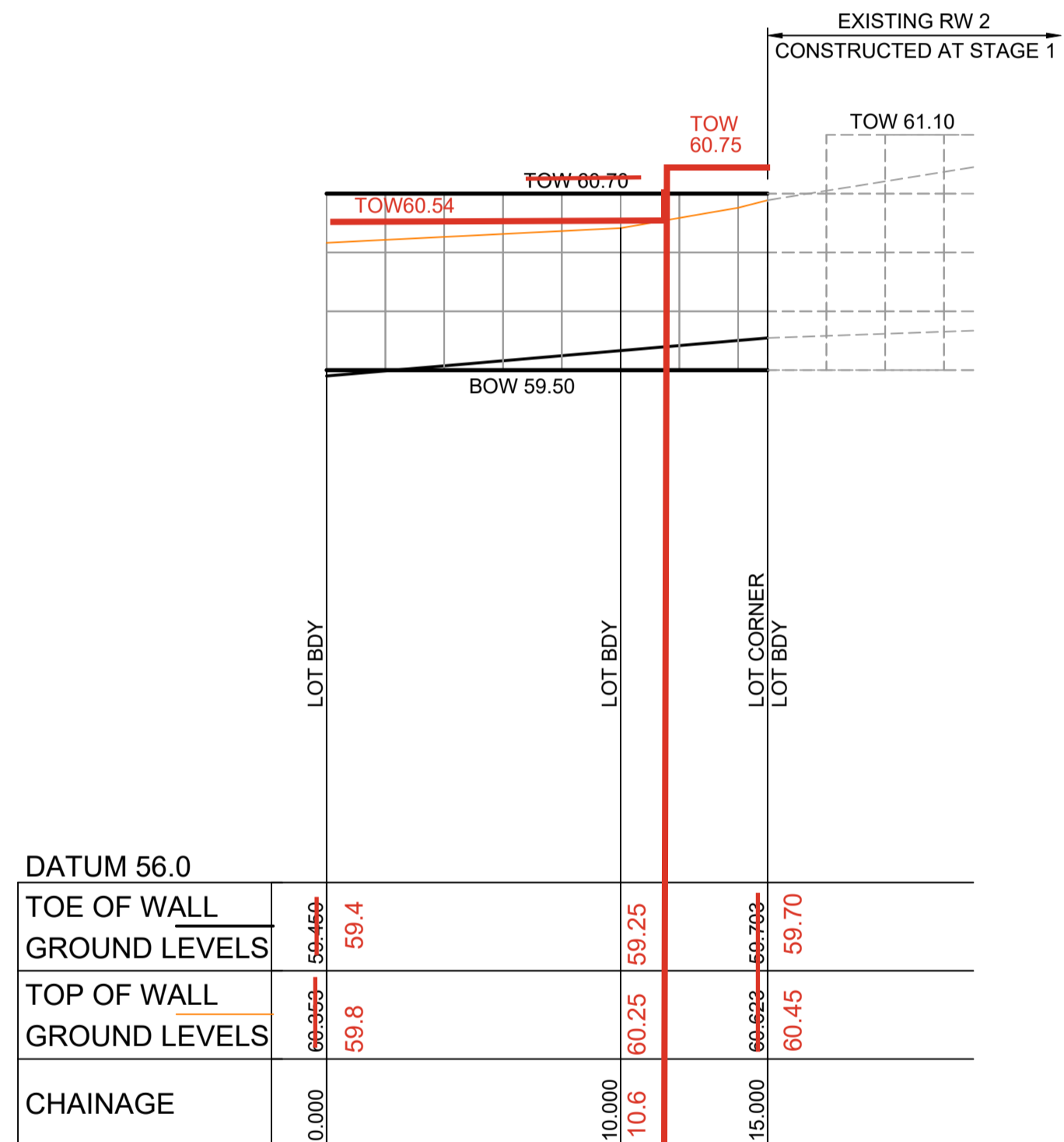
RW 1			
CHAINAGE	EASTING	NORTHING	BEARING
0	290002.46	6260154.2	322°22'42.31"
7.08	289998.14	6260159.81	
56.92	290003.49	6260209.36	
63.4	290004.26	6260215.8	
70.11	290005.09	6260222.45	
162.25	290017.49	6260313.76	
164.17	290019.39	6260313.5	97°44'02.34"

LEGEND

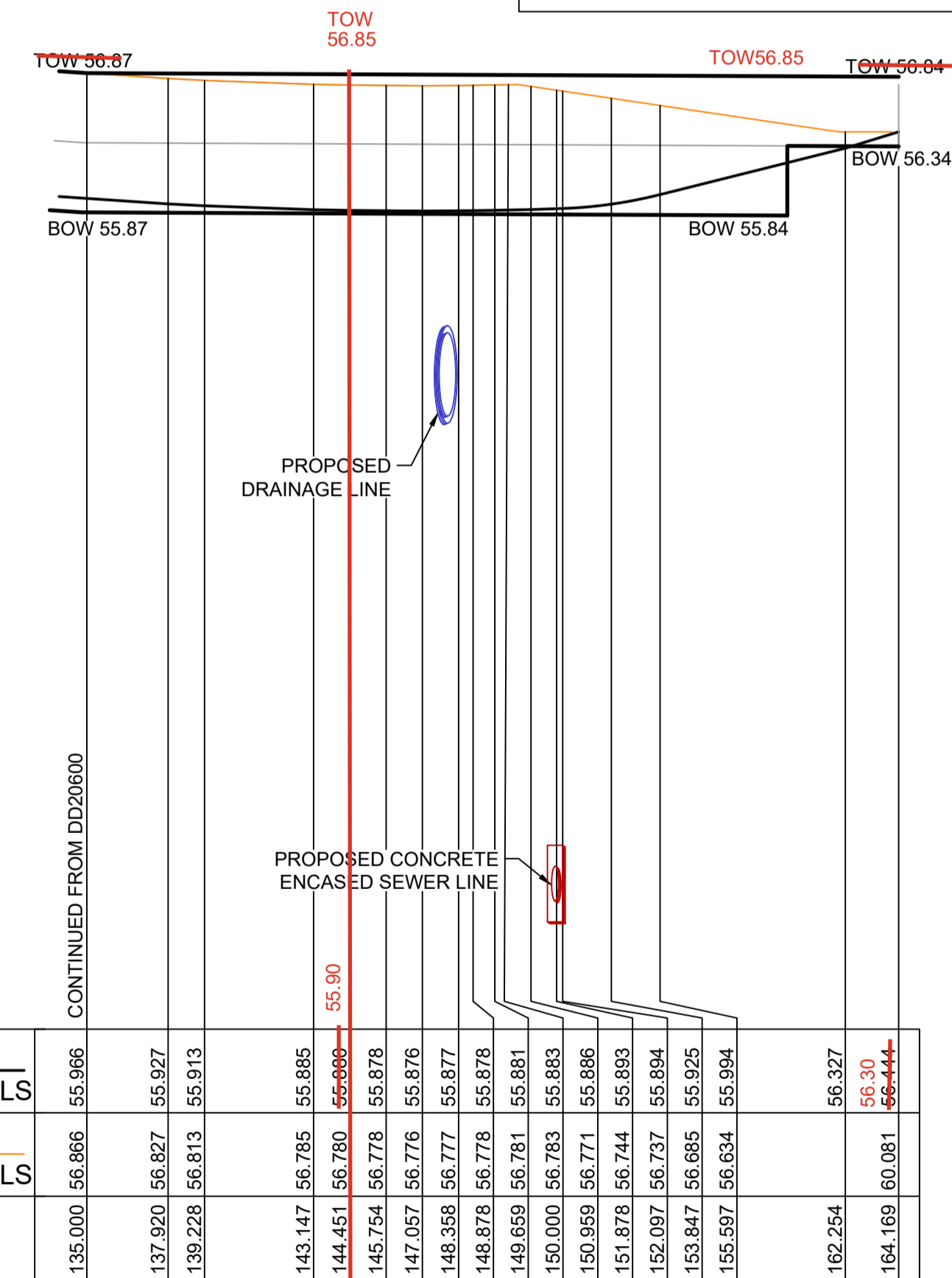
- RETAINING WALL (SANDSTONE LOG)
- RETAINING WALL (CONCRETE SLEEPER)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL



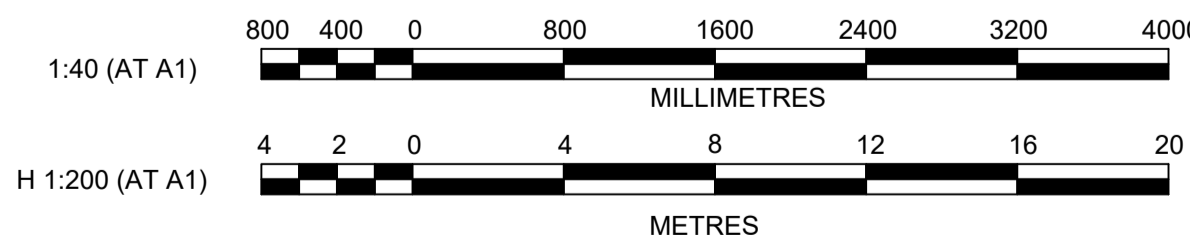
RW 2 A			
CHAINAGE	EASTING	NORTHING	BEARING
0	289794.62	6260213.21	238°15'22.39"
15	289781.86	6260205.32	



LONGITUDINAL SECTION RW 2 A
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



LONGITUDINAL SECTION RW 1
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



- NOTES:**
- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
 - RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
 - SUBJECT TO STRUCTURAL CERTIFICATION
 - THE SUPPORTS/POSTS FOR CONCRETE SLEEPER WALLS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent

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AMENDMENT	DES	DRN	CKD	APR	DATE
D SEWER UPDATED	MMC	GA	RT	RT	18/08/25
C ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
A ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24

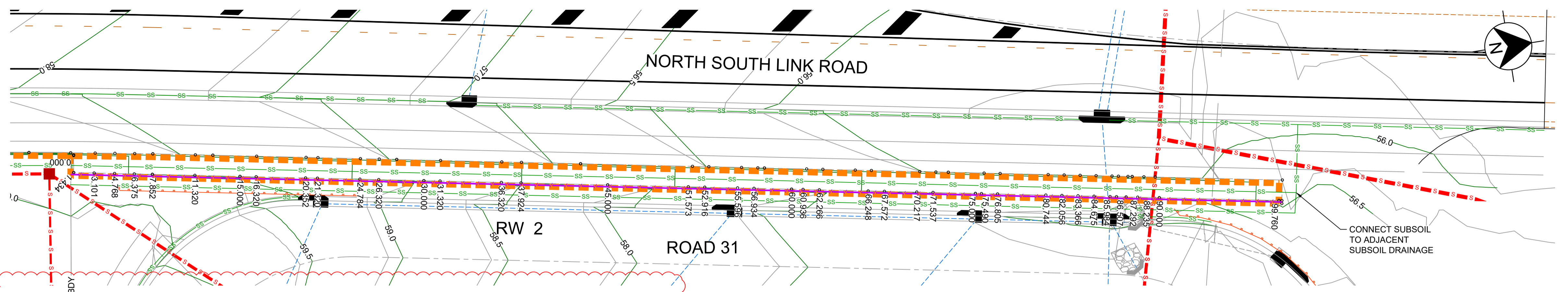
jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 2

PROJECT No:
110265-09
SHEET No:
DD20601
AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112
PLAN No: 110265-09-DD20601
D



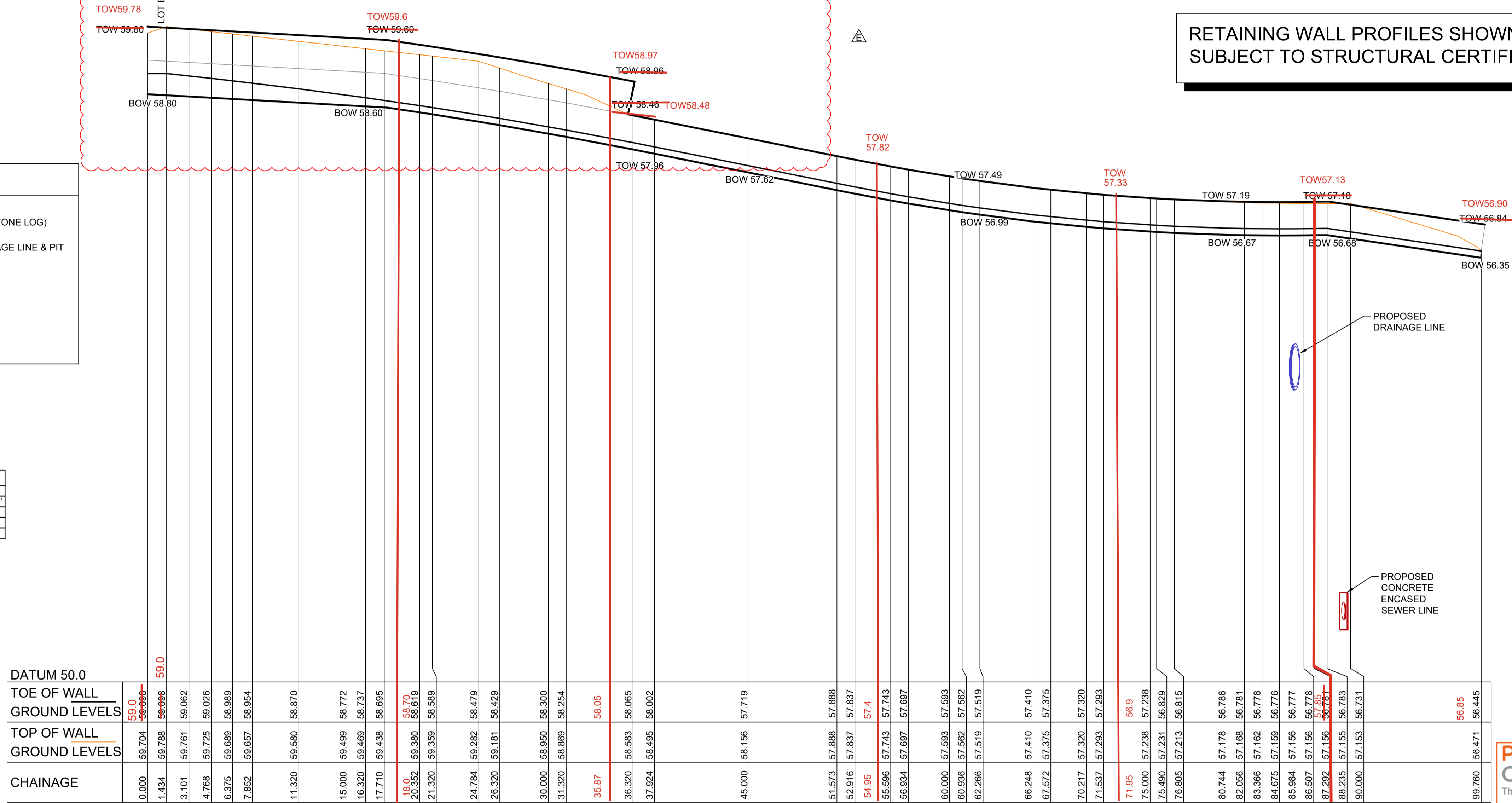
RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

RW 2

CHAINAGE	EASTING	NORTHING	BEARING
0	290004.46	6260216.02	96°10'15.29"
1.43	290005.89	6260215.86	
7.85	290006.75	6260222.22	
99.76	290019.12	6260313.3	7°43'59.02"



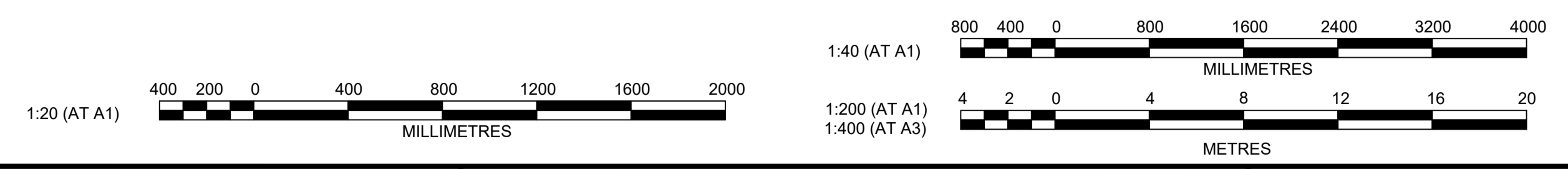
LONGITUDINAL SECTION RW 2
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
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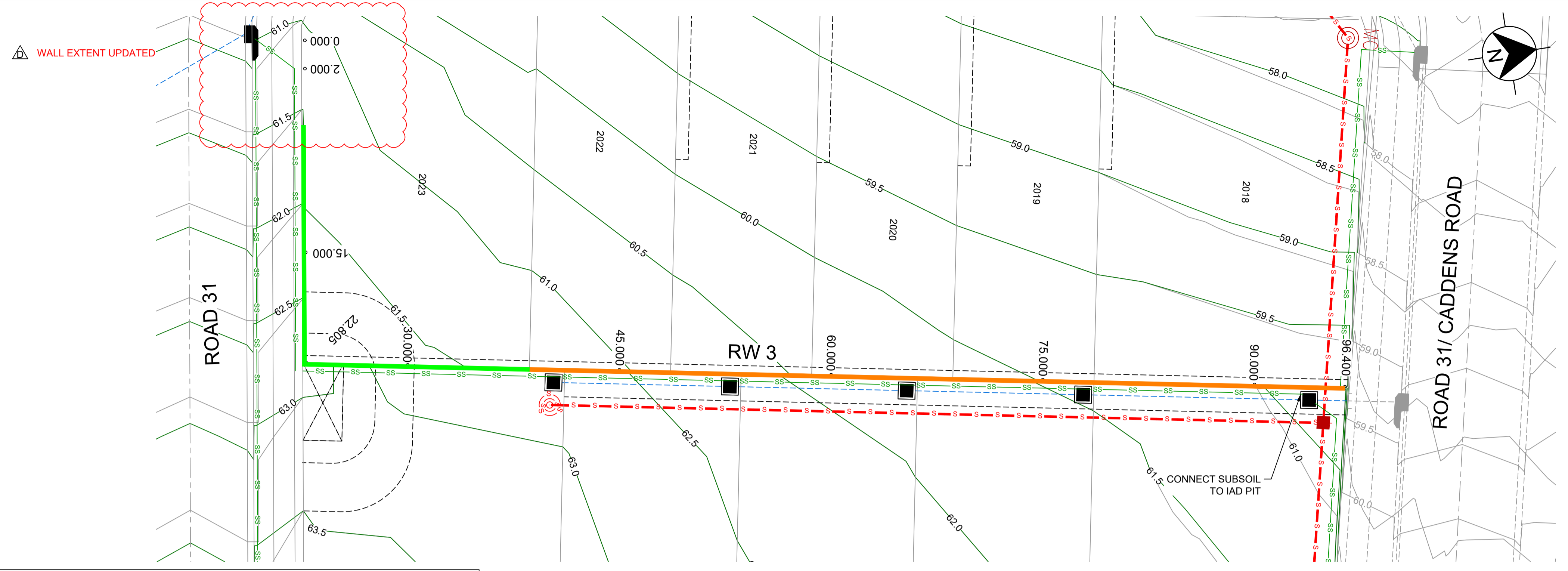
WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
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				ISSUE FOR SWC APPROVAL		ORCHARD HILLS NORTH STAGE 2 CADDENS ROAD RETAINING WALL PLAN & LONGITUDINAL SECTIONS SHEET 3		PROJECT No: 110265-09		
LEVEL 2, 50 BELMORE STREET, PENRITH NSW P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au		CLIENT:		STATUS:		AZIMUTH: M.G.A. 2020		SHEET No: DD20602		
AMENDMENT		DES DRN CKD APR DATE		THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.		DATUM: A.H.D.		PLAN No: 110265-09-DD20602		
D	ADDRESS COUNCIL COMMENTS - SECTION UPDATED	MMC	GA	RT	MS	13/06/25	ORIGIN: SSM 1112		D	
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25	PLAN No:			
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24				
A	ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24				



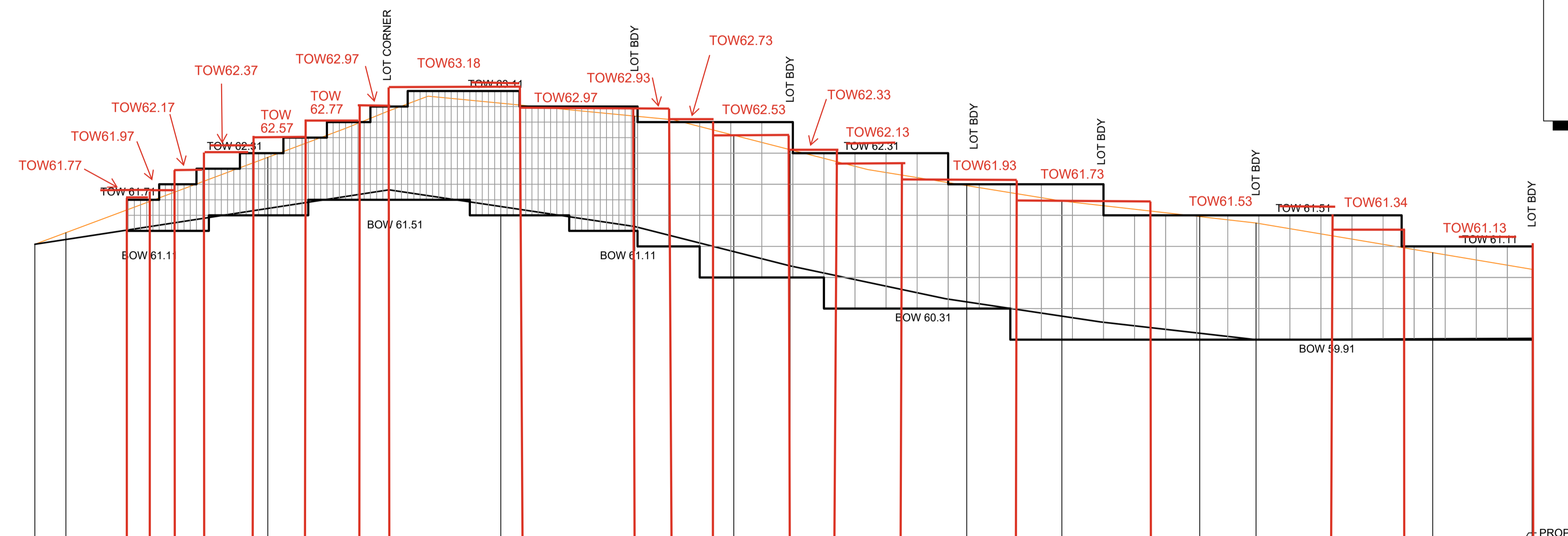
LEGEND

- RETAINING WALL (CONCRETE SLEEPER)
- RETAINING WALL (MASONRY BLOCK)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

LEGEND UPDATED

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY. SUBJECT TO STRUCTURAL CERTIFICATION

- NOTES:**
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WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
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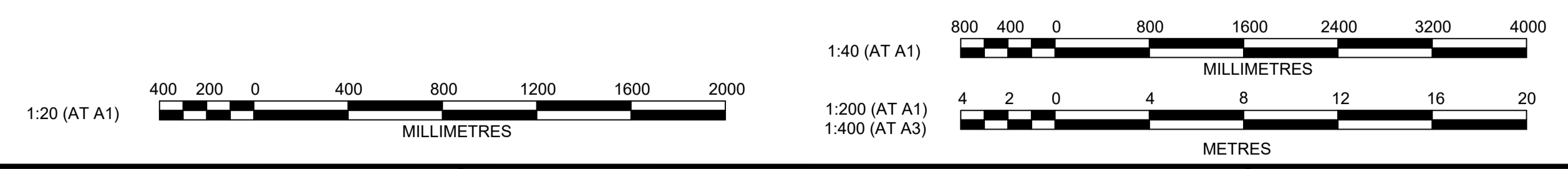
DATUM 57.0	
TOE OF WALL GROUND LEVELS	61.133
TOP OF WALL GROUND LEVELS	61.133
CHAINAGE	0.000

RW 3

CHAINAGE	EASTING	NORTHING	BEARING
0	290029.45	6260229.41	96°10'15.28"
22.81	290052.12	6260226.96	
96.4	290062.03	6260299.88	7°44'00.00"

LONGITUDINAL SECTION RW 3
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40

LONG SECTION UPDATED



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AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	MS	29/05/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

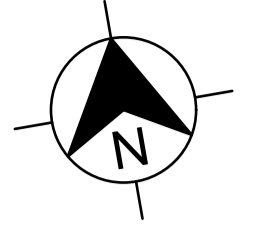
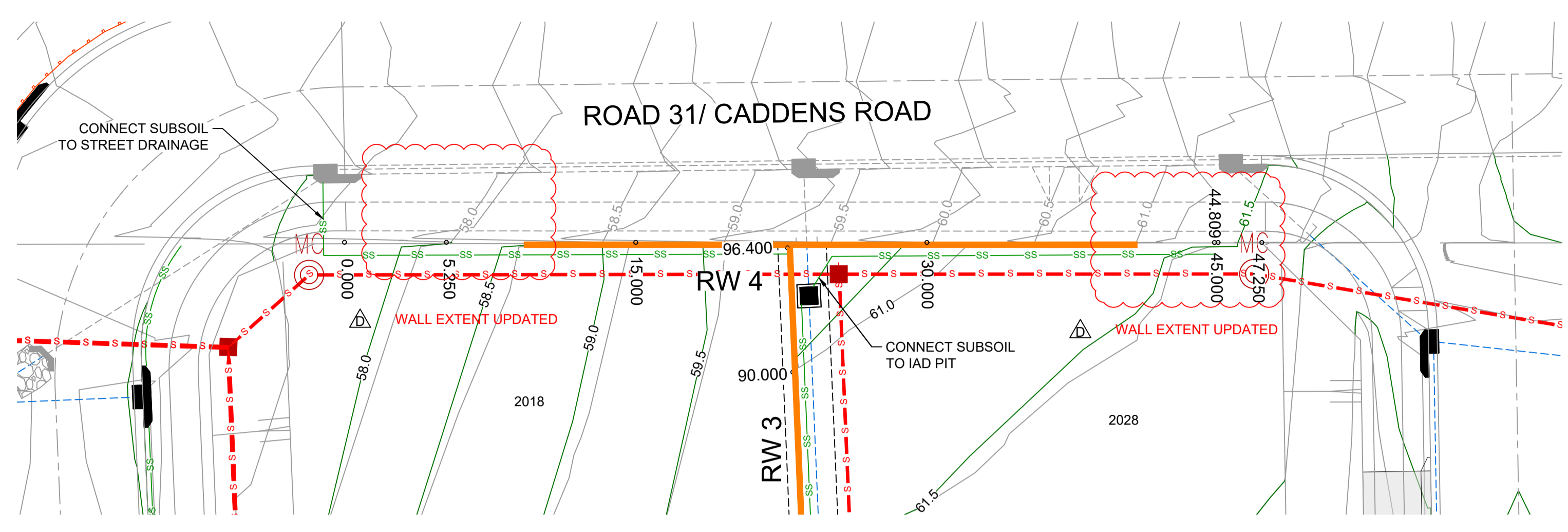
jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
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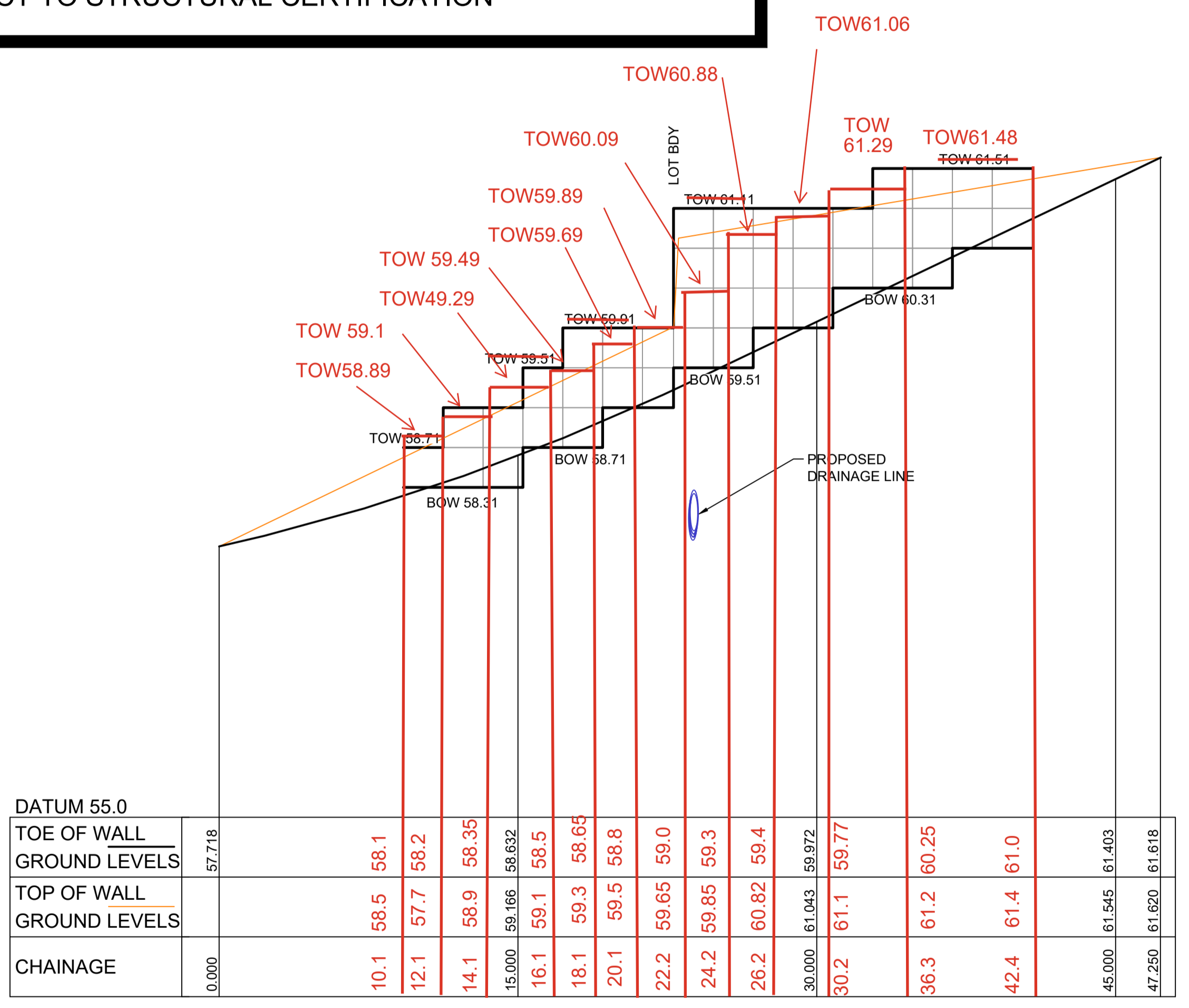
**ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 4**

PROJECT No:
110265-09
 SHEET No:
DD20603
 AZIMUTH: M.G.A. 2020
 DATUM: A.H.D.
 ORIGIN: SSM 1112
 PLAN No: 110265-09-DD20603



LEGEND	
	RETAINING WALL (CONCRETE SLEEPER)
	RETAINING WALL (MASONRY BLOCK)
	INTERALLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL

**RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION**



RW 4			
CHAINAGE	EASTING	NORTHING	BEARING
0	290039.61	6260304.19	100°05'51.01"
0.02	290039.64	6260304.18	
22.81	290062.07	6260300.16	
47.25	290086.12	6260295.85	100°09'48.62"

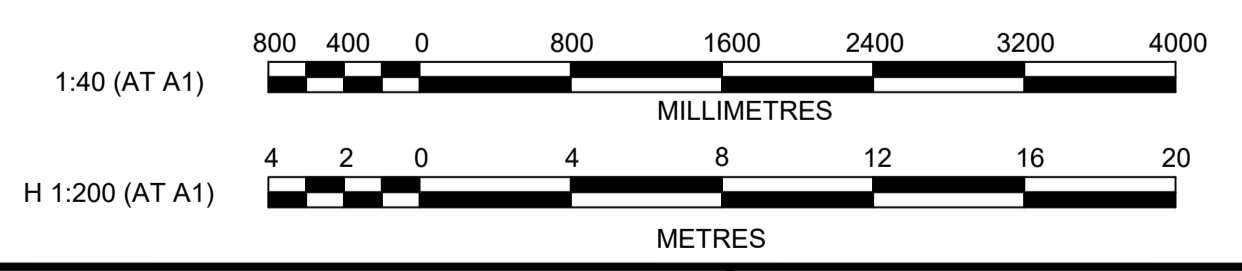
WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

LONG SECTION UPDATED

DATUM 55.0	
TOE OF WALL	57.718
GROUND LEVELS	
TOP OF WALL	
GROUND LEVELS	
CHAINAGE	

LONGITUDINAL SECTION RW 4
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40

PENRITH CITY COUNCIL
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P:\20 August - 2025 7:34:00 PM File Name: C:\Synergy\W\Subdata\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2 SW\110265-09-DD20600.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	MS	29/05/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY







STATUS:
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 5

PROJECT No:
110265-09
 SHEET No:
DD20604
 PLAN No: 110265-09-DD20604

D

LEGEND

-  RETAINING WALL (CONCRETE SLEEPER)
-  RETAINING WALL (MASONRY BLOCK)
-  INTERLOTMENT DRAINAGE LINE & PIT
-  DRAINAGE LINE & PIT
-  SEWER
-  SUBSOIL

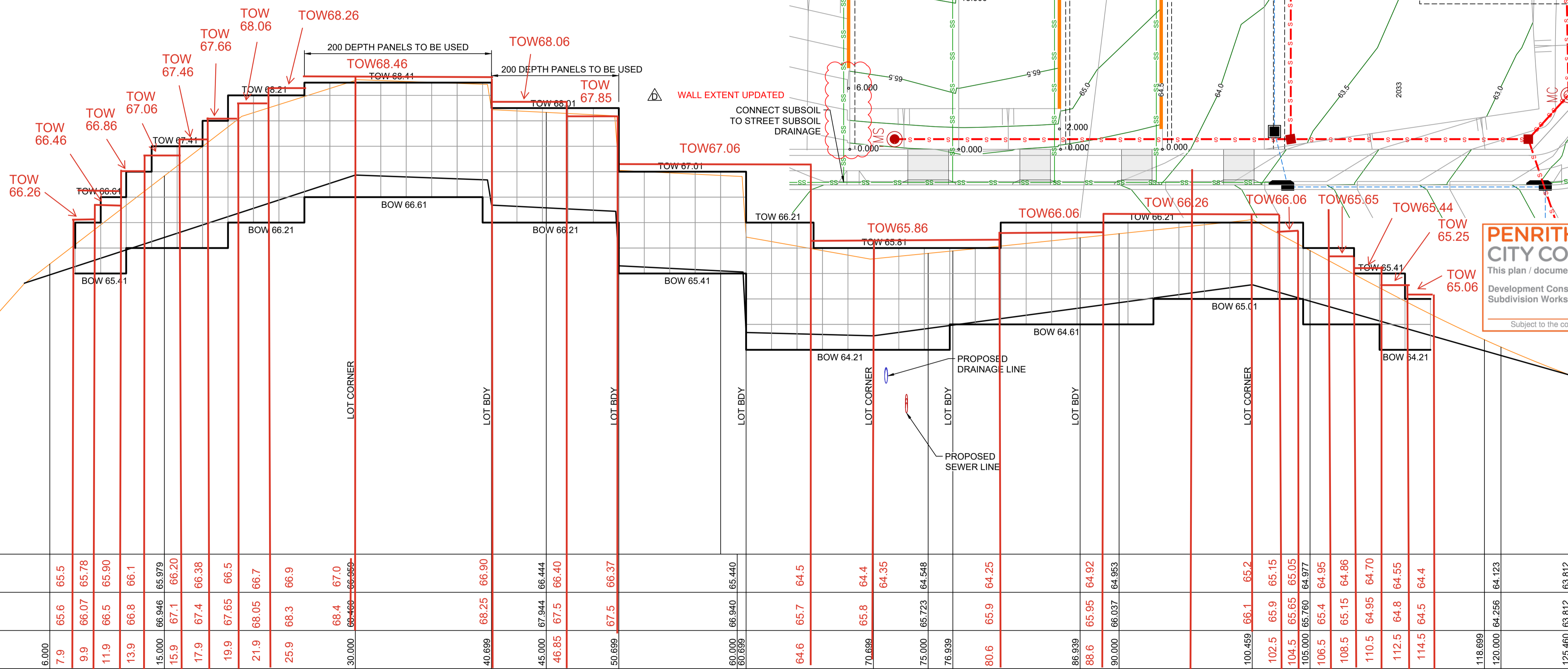
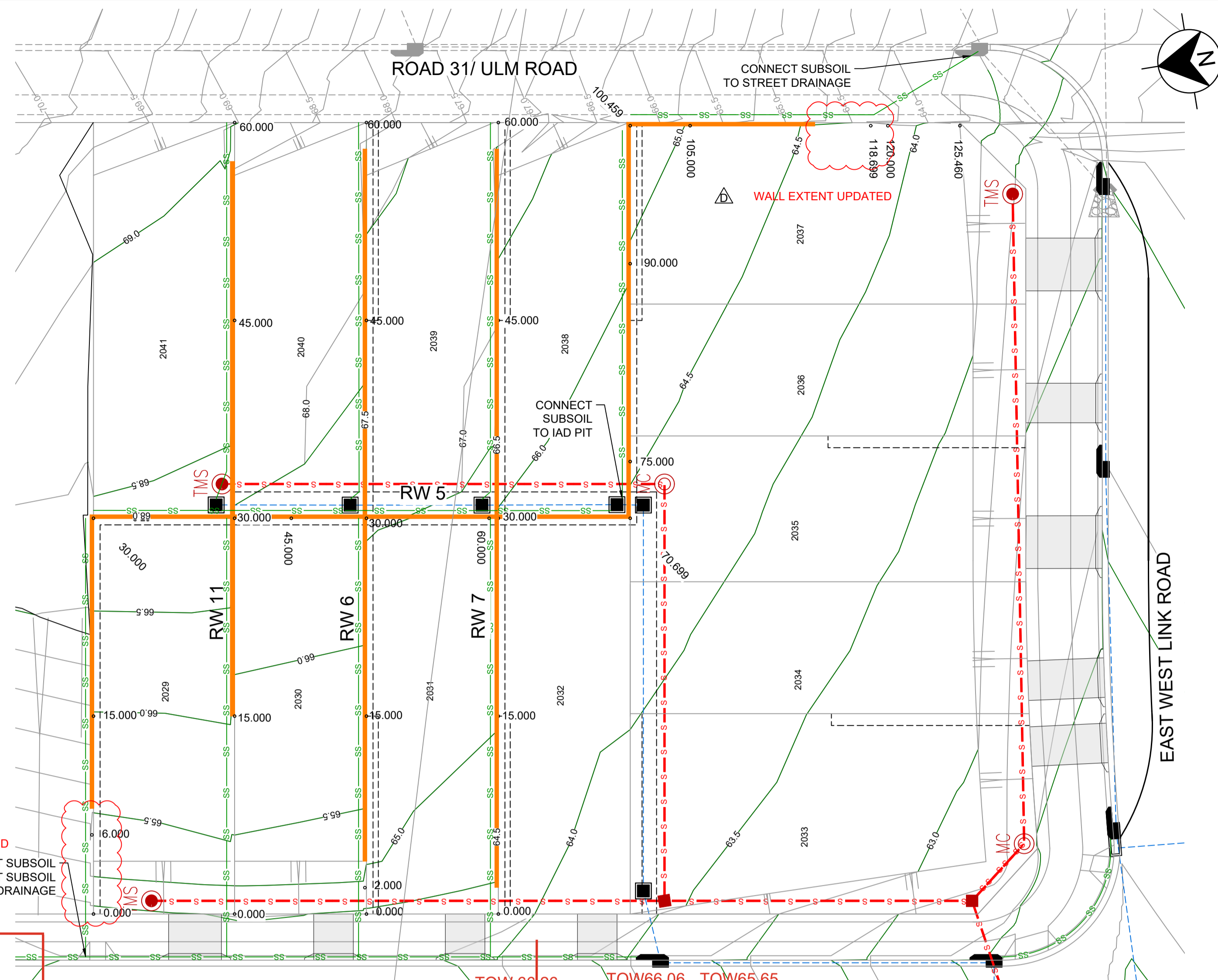
**RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION**

NOTES:

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RW 5			
CHAINAGE	EASTING	NORTHING	BEARING
0	290095.89	6260224.62	99°10'19.56"
30	290125.51	6260219.84	
70.7	290119.02	6260179.66	
100.46	290148.4	6260174.91	
125.46	290144.42	6260150.23	189°10'19.56"

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

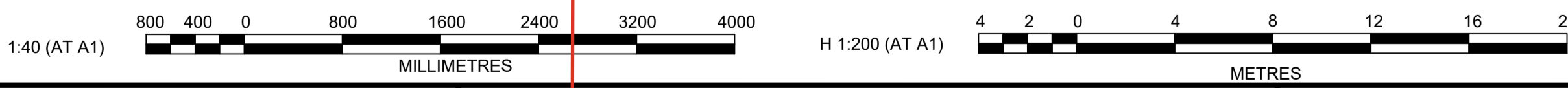


PENRITH CITY COUNCIL
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DATUM 61.0

TOE OF WALL GROUND LEVELS	TOP OF WALL GROUND LEVELS	CHAINAGE
64.360	64.353	0.000
65.5	65.6	6.000
65.78	66.07	7.9
65.90	66.5	9.9
66.1	66.8	11.9
65.979	66.946	13.9
66.20	67.1	15.9
66.38	67.4	17.9
66.5	67.65	19.9
66.7	68.05	21.9
66.9	68.3	25.9
67.0	68.4	30.000
66.90	68.25	40.699
66.444	67.944	45.000
66.40	67.5	46.65
66.37	67.5	50.699
65.440	66.940	60.000
64.5	65.7	64.6
64.35	65.8	70.699
64.548	65.723	75.000
64.25	65.9	80.6
64.92	65.95	86.939
64.953	65.037	88.6
65.2	66.1	100.459
65.15	65.9	102.5
65.05	65.65	104.5
64.977	65.760	105.000
64.95	65.4	106.5
64.86	65.15	108.5
64.70	64.95	110.5
64.55	64.8	112.5
64.4	64.5	114.5
64.123	64.256	118.699
63.812	63.812	125.460

LONGITUDINAL SECTION RW 5
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



LONG SECTION UPDATED

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AMENDMENT	DES	DRN	CKD	APR	DATE
D					29/05/25
C					26/03/25
B					17/12/24
A					06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

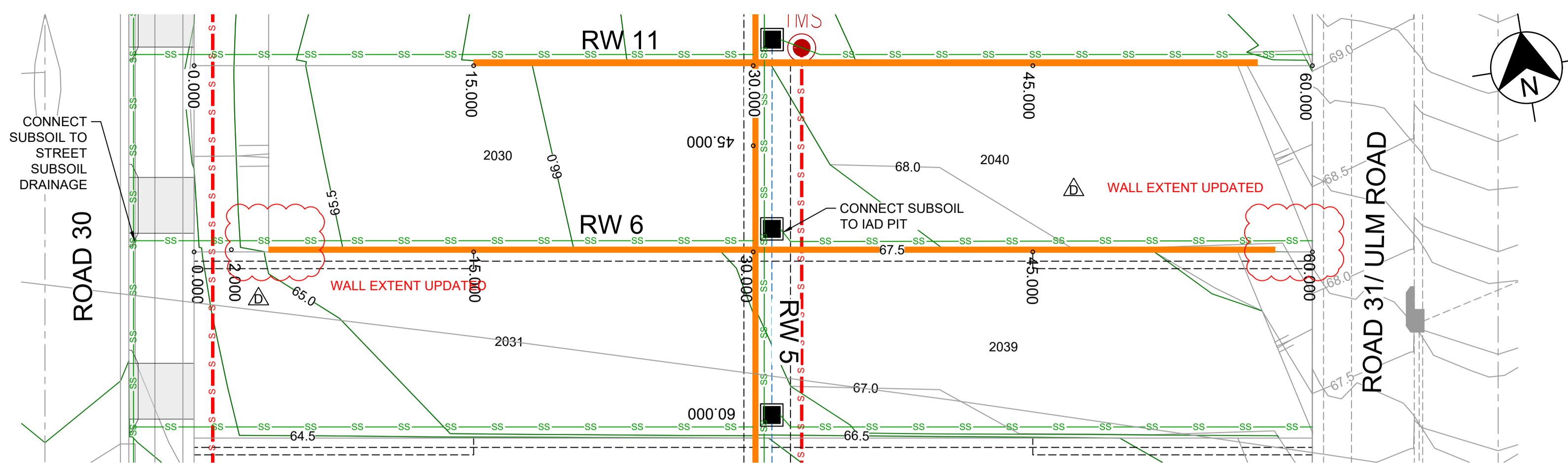
CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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**ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD**
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 6

PROJECT No:
110265-09
SHEET No:
DD20605
PLAN No: 110265-09-DD20605

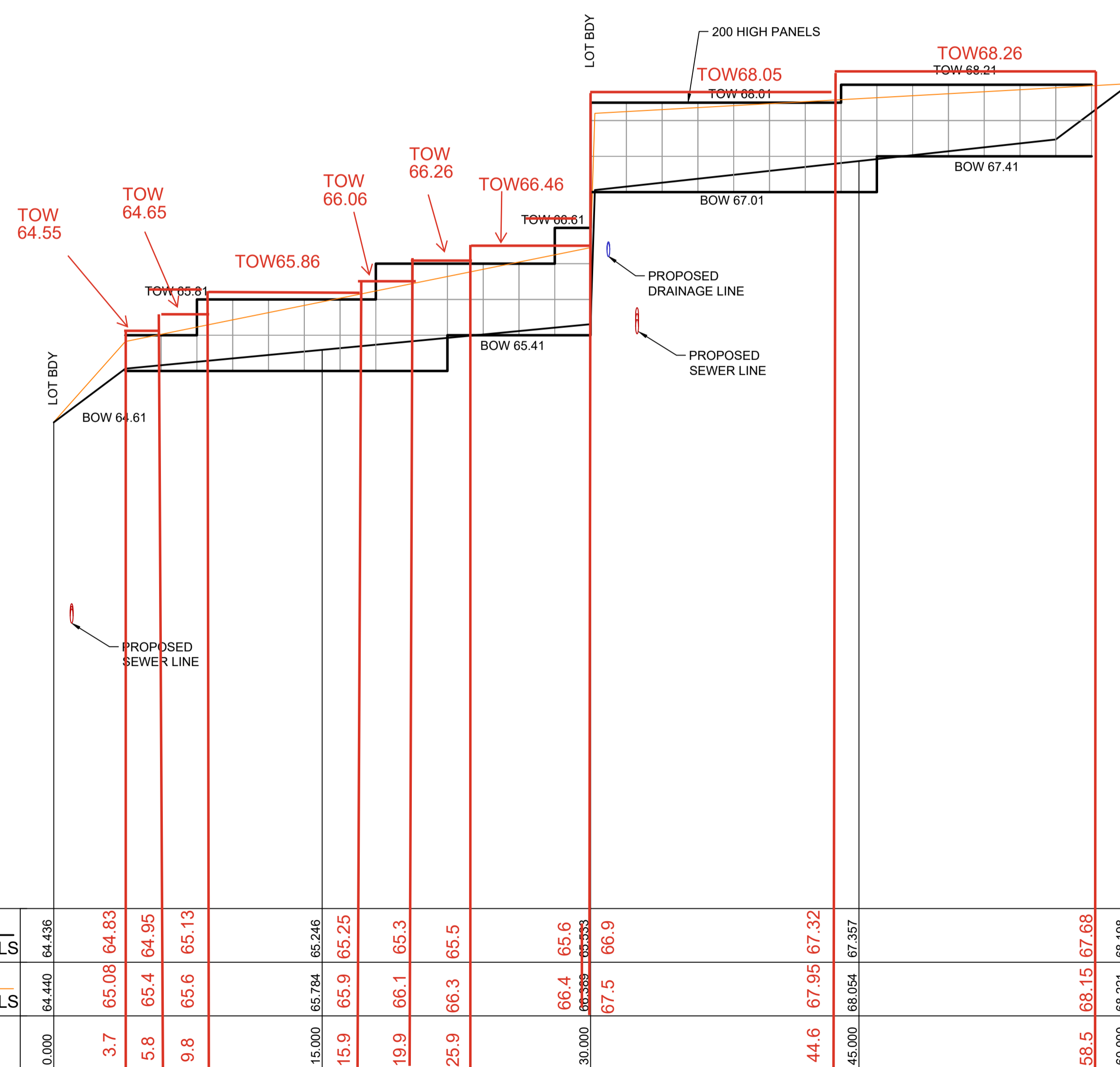
AZIMUTH: M.G.A. 2020 DATUM: A.H.D. ORIGIN: SSM 1112



LEGEND	
	RETAINING WALL (CONCRETE SLEEPER)
	RETAINING WALL (MASONRY BLOCK)
	INTERALLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

RW 6			
CHAINAGE	EASTING	NORTHING	BEARING
0	290092.59	6260204.18	99°10'19.56"
60	290151.83	6260194.62	99°10'19.56"



WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

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DATUM 59.0	
TOE OF WALL GROUND LEVELS	64.436 64.83 64.95 65.13 65.246 65.25 65.3 65.5 66.4 65.6 66.9 67.32 67.357 68.15 67.68 68.198
TOP OF WALL GROUND LEVELS	64.440 65.08 65.4 65.6 65.784 65.9 66.1 66.3 66.4 67.95 68.054 68.15 68.221 68.198
CHAINAGE	0.000 3.7 5.8 9.8 15.000 15.9 19.9 25.9 30.000 44.6 45.000 58.5 60.000

LONGITUDINAL SECTION RW 6
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



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Printed: 20 August, 2025 7:34:02 PM File Name: C:\Synergy\IS\idata\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2 SWC\110265-09-DD20600.dwg

LONG SECTION UPDATED

AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	MS	29/05/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
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jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
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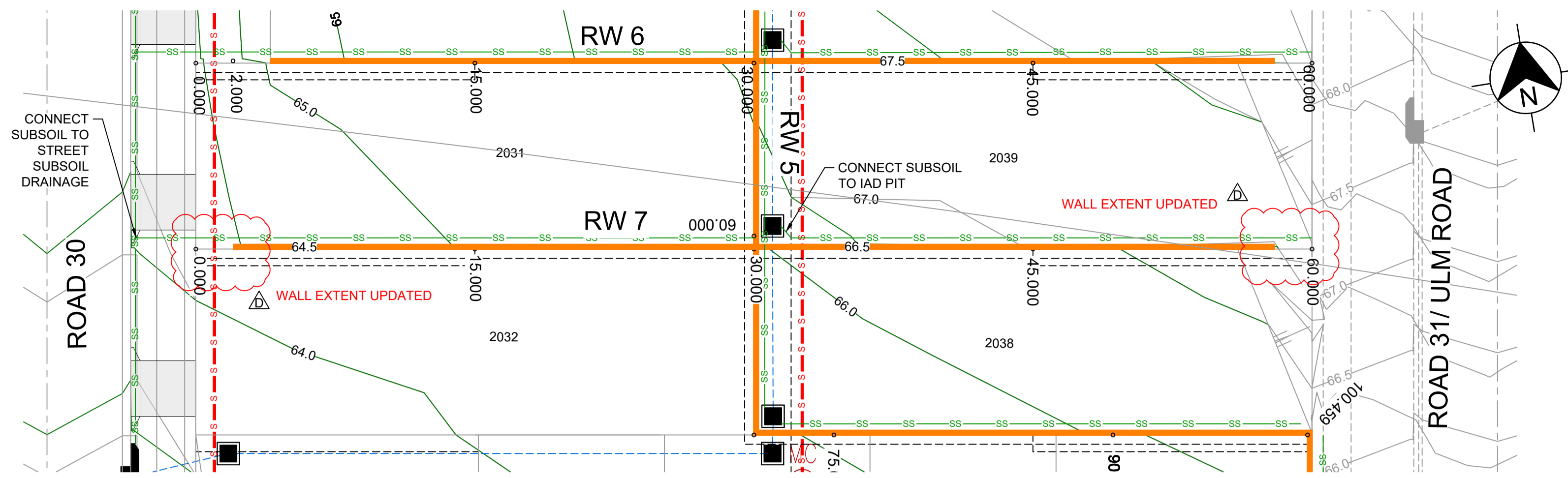
CLIENT:
LEGACYPROPERTY

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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 7

PROJECT No:
110265-09
SHEET No:
DD20606
PLAN No: 110265-09-DD20606

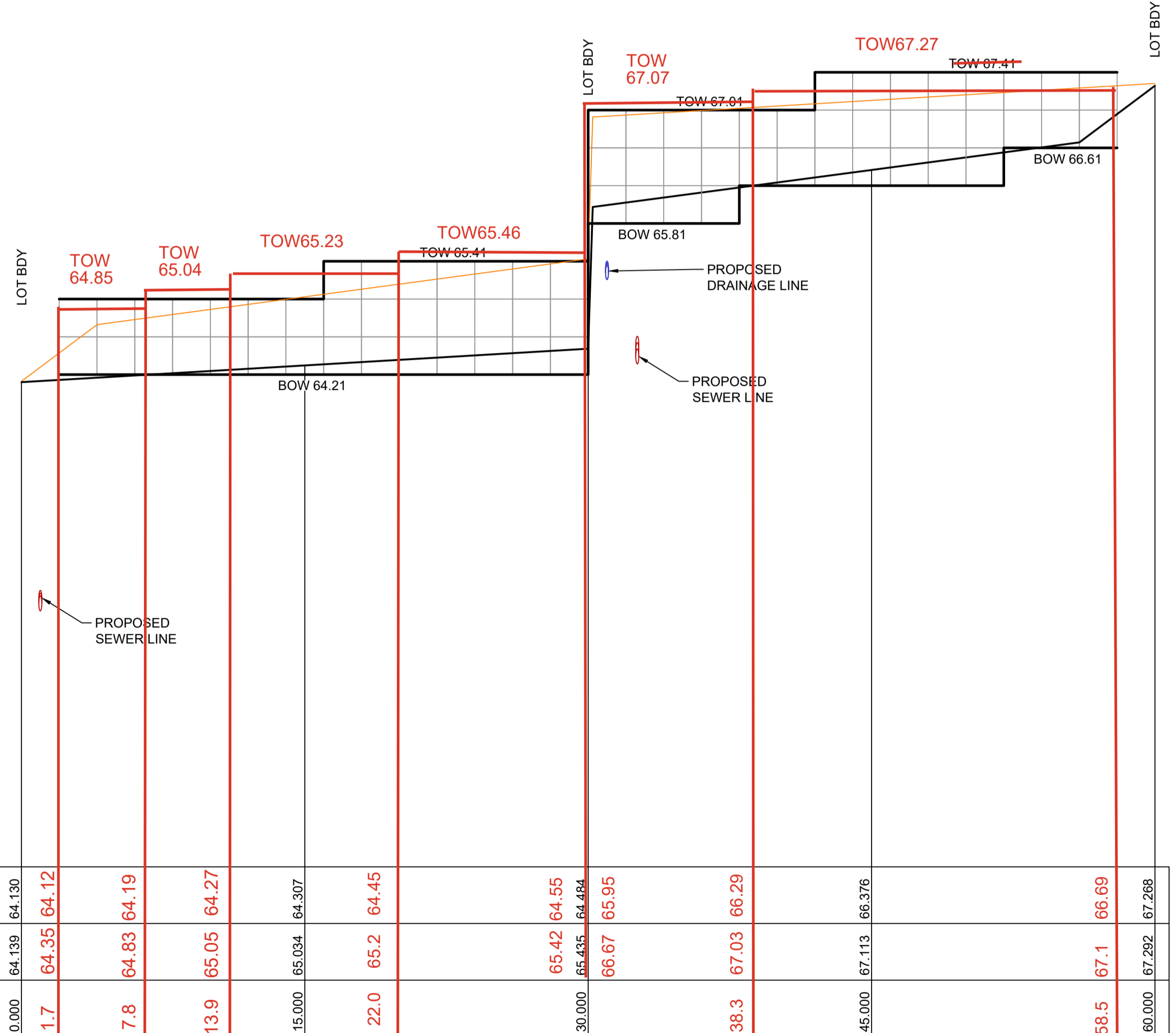
D



LEGEND	
	RETAINING WALL (CONCRETE SLEEPER)
	RETAINING WALL (MASONRY BLOCK)
	INTERLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

RW 7			
CHAINAGE	EASTING	NORTHING	BEARING
0	290091	6260194.31	99°10'19.56"
60	290150.23	6260184.75	99°10'19.56"



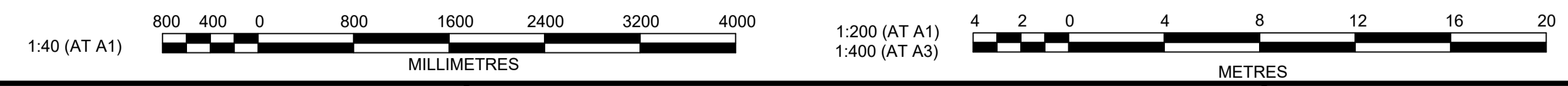
DATUM 59.0	
TOE OF WALL	64.130 64.12 64.19 64.27 64.307 64.45 64.55 64.484 65.95 66.29 66.376 66.69 67.268
GROUND LEVELS	
TOP OF WALL	64.139 64.35 64.83 65.05 65.034 65.2 65.42 65.435 66.67 67.03 67.113 67.1 67.292
GROUND LEVELS	
CHAINAGE	0.000 1.7 7.8 13.9 15.000 22.0 30.000 38.3 45.000 58.5 60.000

LONGITUDINAL SECTION RW 7
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
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LONG SECTION UPDATED; PROPOSED DRAINAGE & SEWER SHOWN

Printed: 20 August, 2025 7:34:02 PM File Name: C:\Synergy\W\Subdata\AS\JWP\07110265_09 - Precinct 1 Development_13639\Design\DD\Stage 2 SWC\110265-09-DD20600.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	MS	29/05/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

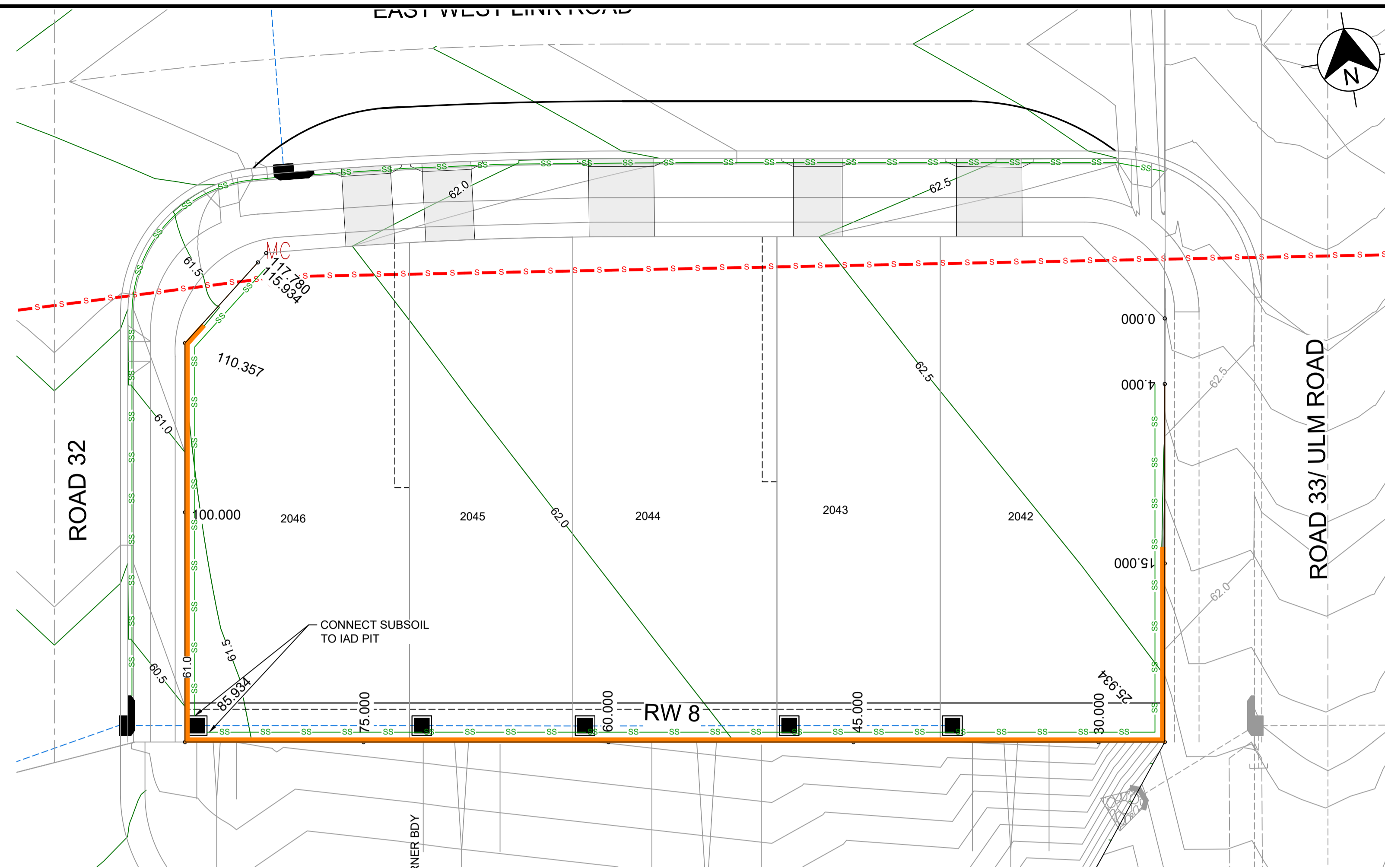
STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 8

PROJECT No:
110265-09
SHEET No:
DD20607
PLAN No: 110265-09-DD20607

D

P:\20 August - 2025 7:34:03 PM File Name: C:\Synergy\WSD\data\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2 SWC\110265-09-DD20600.dwg



LEGEND	
	RETAINING WALL (CONCRETE SLEEPER)
	RETAINING WALL (MASONRY BLOCK)
	INTERALLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL

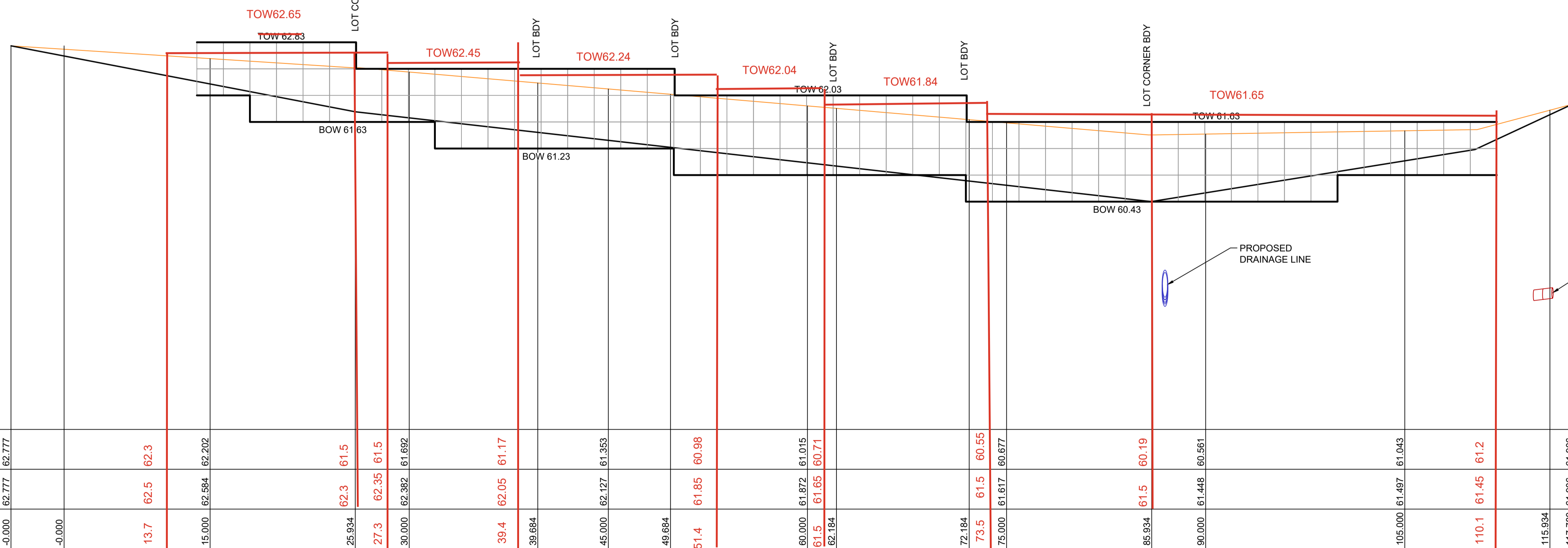
NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS FOR CONCRETE SLEEPER WALLS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY. SUBJECT TO STRUCTURAL CERTIFICATION

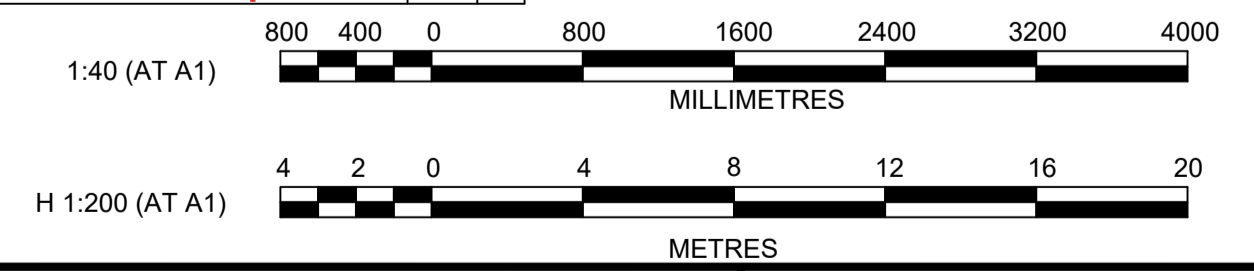
WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

RW 8			
CHAINAGE	EASTING	NORTHING	BEARING
0	290139.14	6260116.04	189°10'19.56"
25.93	290135	6260090.44	
85.93	290075.77	6260100	
110.36	290079.66	6260124.11	
117.76	290085.45	6260128.76	51°14'38.37"



DATUM 57.0	
TOE OF WALL GROUND LEVELS	-0.000 62.777 62.777
TOP OF WALL GROUND LEVELS	13.7 62.5 62.3 62.202 62.584 62.3 62.35 62.382 61.692 62.05 61.17 61.353 61.85 60.96 61.872 61.015 61.5 61.65 60.71 62.184 73.5 61.5 60.55 61.617 60.677 61.5 60.19 61.448 60.561 61.497 61.043 110.1 61.45 61.2 115.934 117.780 61.906 61.906
CHAINAGE	-0.000 -0.000 13.7 15.000 25.934 27.3 30.000 39.4 39.684 45.000 49.684 51.4 60.000 61.5 62.184 72.184 73.5 75.000 85.934 90.000 105.000 110.1 115.934 117.780

LONGITUDINAL SECTION RW 8
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40



PENRITH CITY COUNCIL
 This plan / document relates to
 Development Consent: MOD25/0053
 Subdivision Works Certificate: EA25/0006
 Subject to the conditions outlined in the consent

SEWER UPDATED

AMENDMENT	DES	DRN	CKD	APR	DATE	
E	SEWER UPDATED	MMC	GA	RT	RT	18/08/25
D	ADDRESS COUNCIL COMMENTS - SECTION UPDATED	MMC	GA	RT	MS	29/05/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	MS	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	MS	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	MS	06/12/24

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:

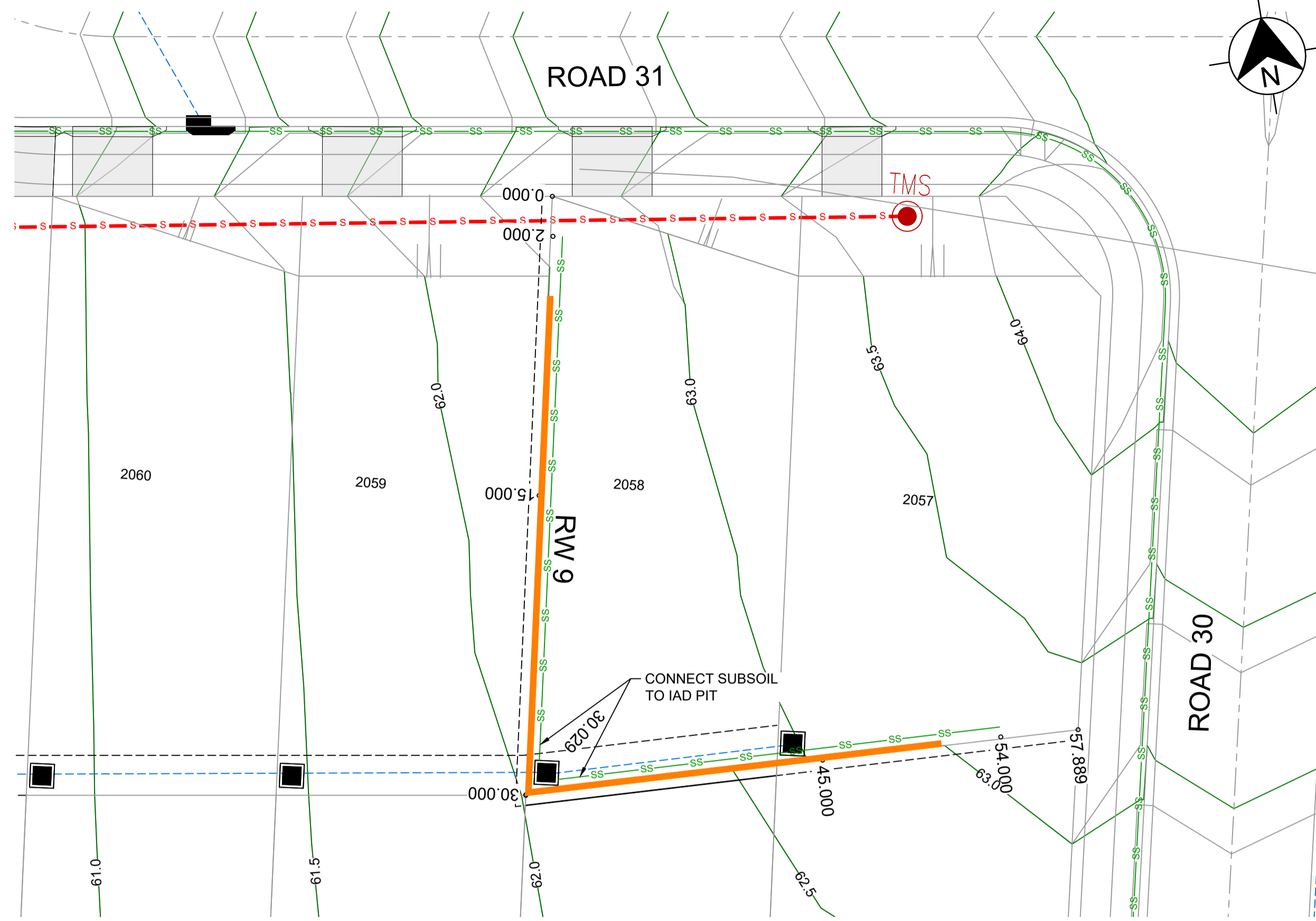
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 9

PROJECT No:
110265-09
 SHEET No:
DD20608
 PLAN No: 110265-09-DD20608

AZIMUTH: M.G.A. 2020	DATUM: A.H.D.	ORIGIN: SSM 1112	PLAN No: 110265-09-DD20608	E
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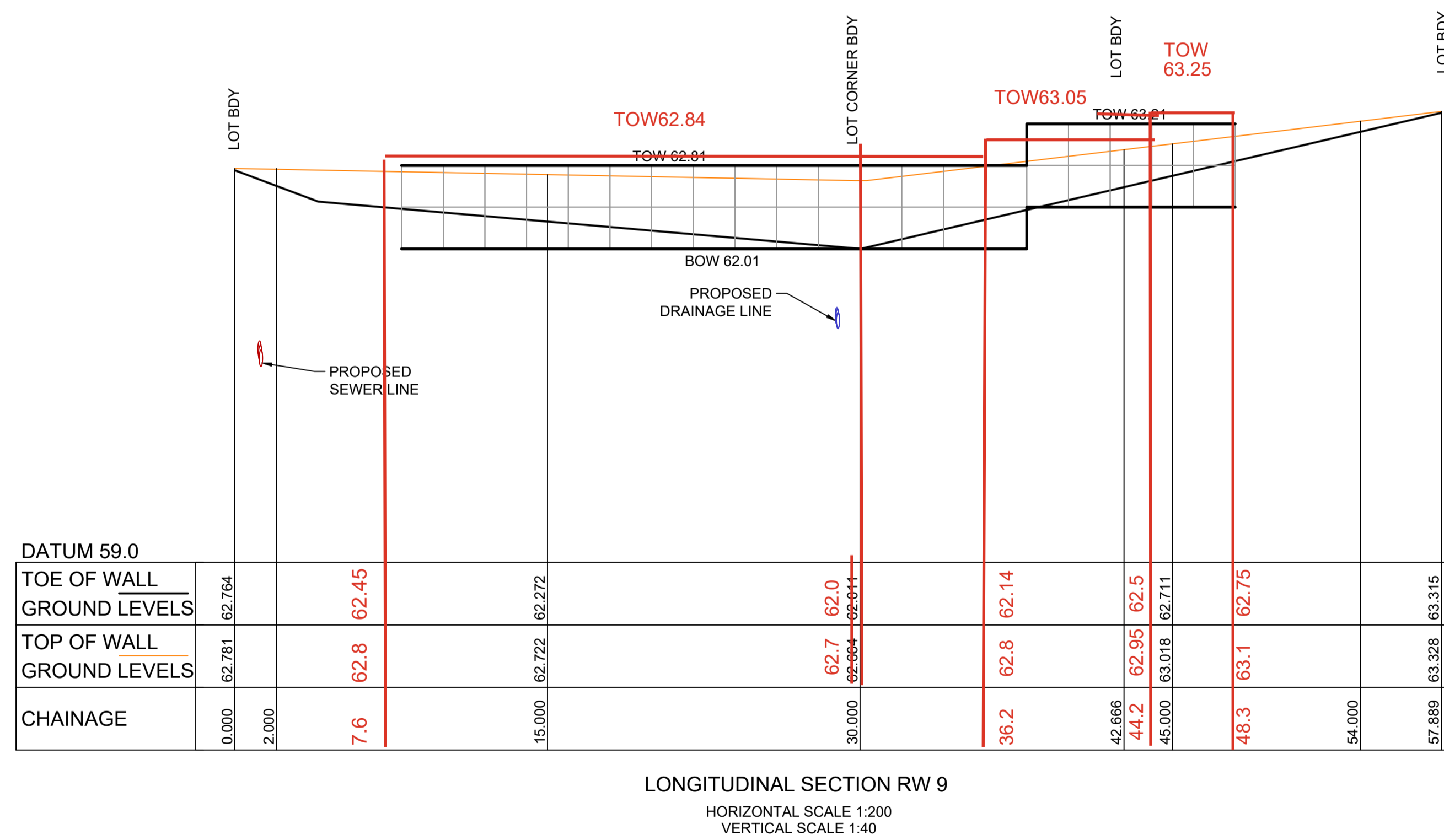


LEGEND	
	RETAINING WALL (CONCRETE SLEEPER)
	RETAINING WALL (MASONRY BLOCK)
	INTERLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL

**RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION**

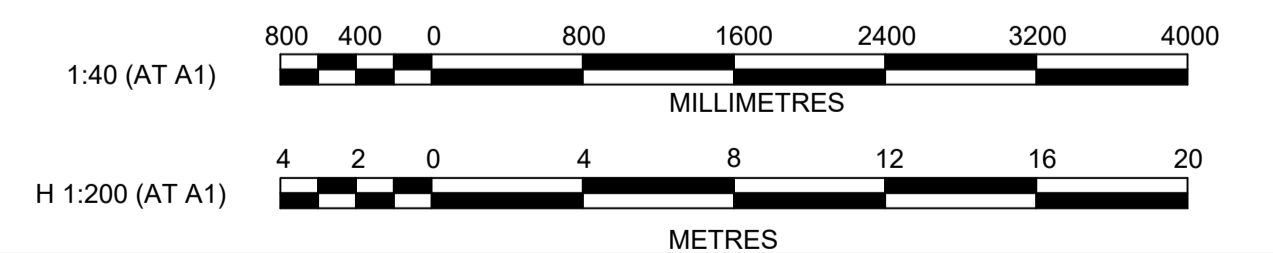
- NOTES:**
- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
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WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE:
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU



RW 9			
CHAINAGE	EASTING	NORTHING	BEARING
0	290049.41	6260210.92	188°42'13.12"
30.03	290044.87	6260181.23	
57.89	290072.73	6260181.52	89°24'13.83"

PENRITH CITY COUNCIL
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SEWER UPDATED

Printed: 20 August, 2025 7:34:04 PM File Name: C:\Synergy\W\Subdata\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2_SWC\110265-09-DD20600.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
E	SEWER UPDATED	MMC	GA	RT	18/08/25
D	ADDRESS COUNCIL COMMENTS - SECTION UPDATED	MMC	GA	RT	29/05/25
C	ADDRESS COUNCIL COMMENTS	MMC	GA	RT	26/03/25
B	ISSUED FOR CONSTRUCTION	MMC	EJ	RT	17/12/24
A	ISSUE FOR TENDER	MMC	GA	RT	06/12/24

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:

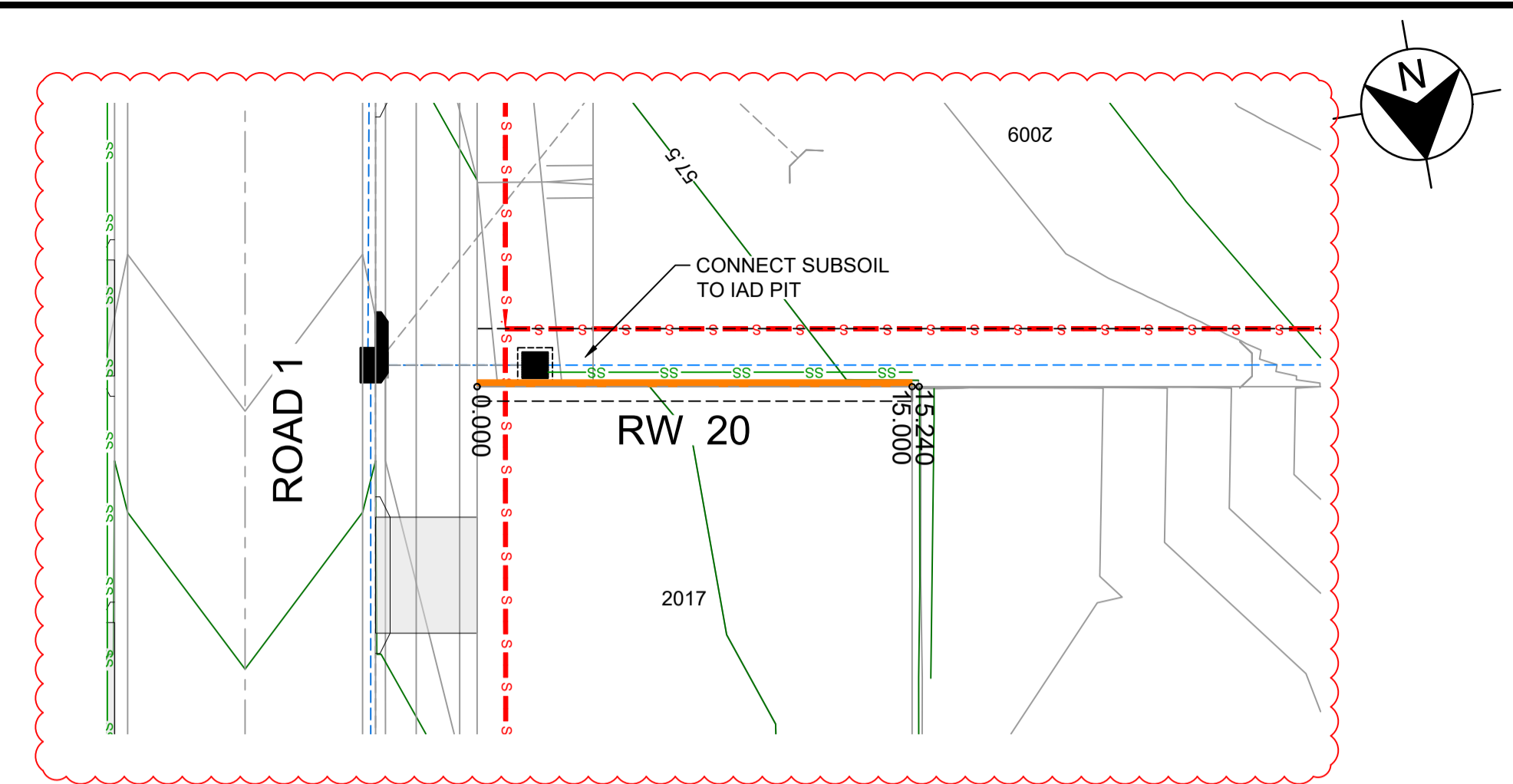
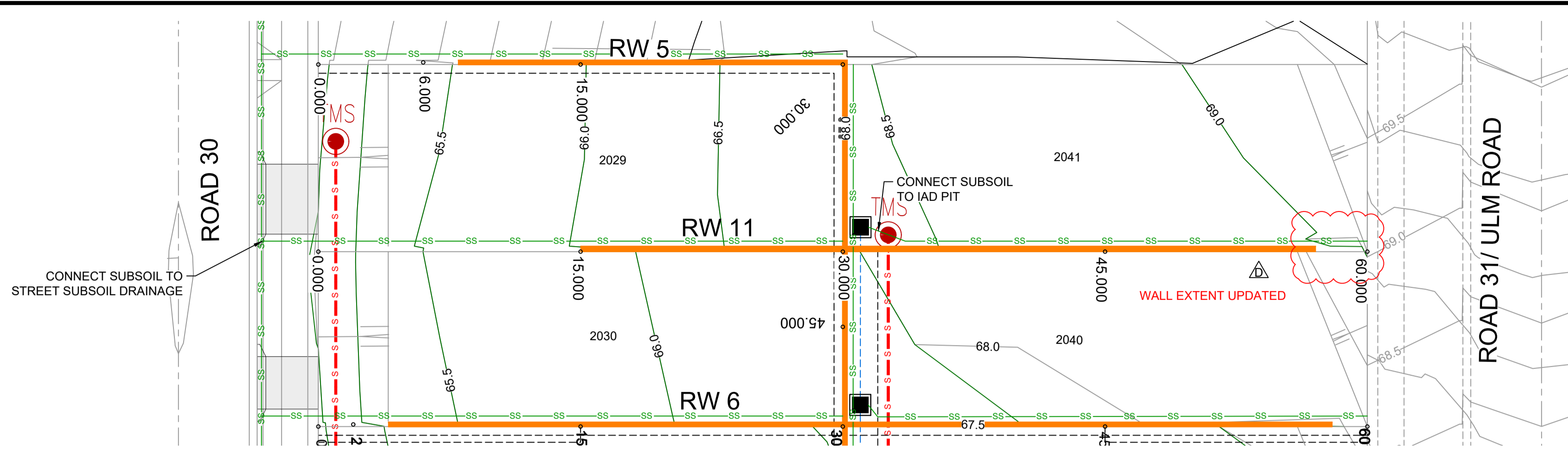
LEGACYPROPERTY

STATUS:
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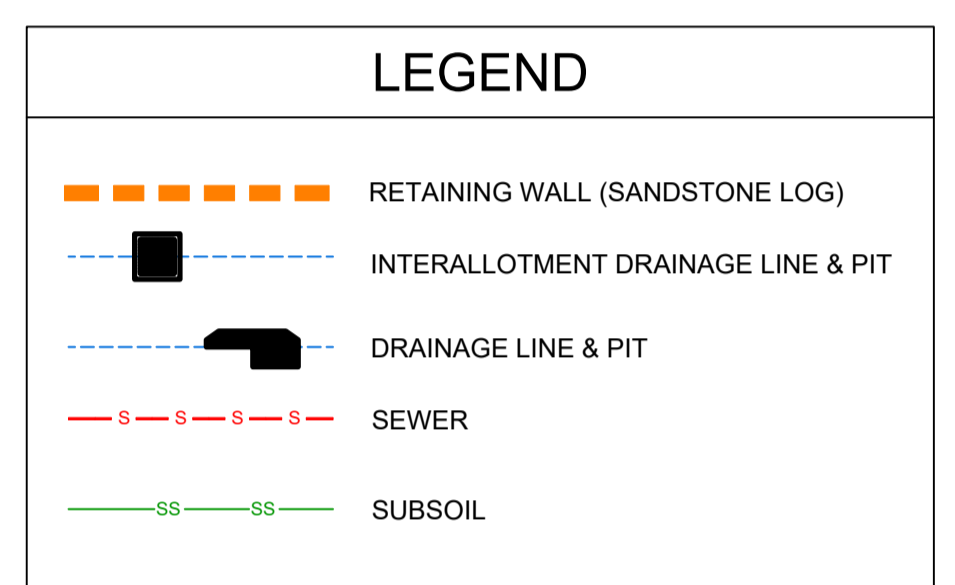
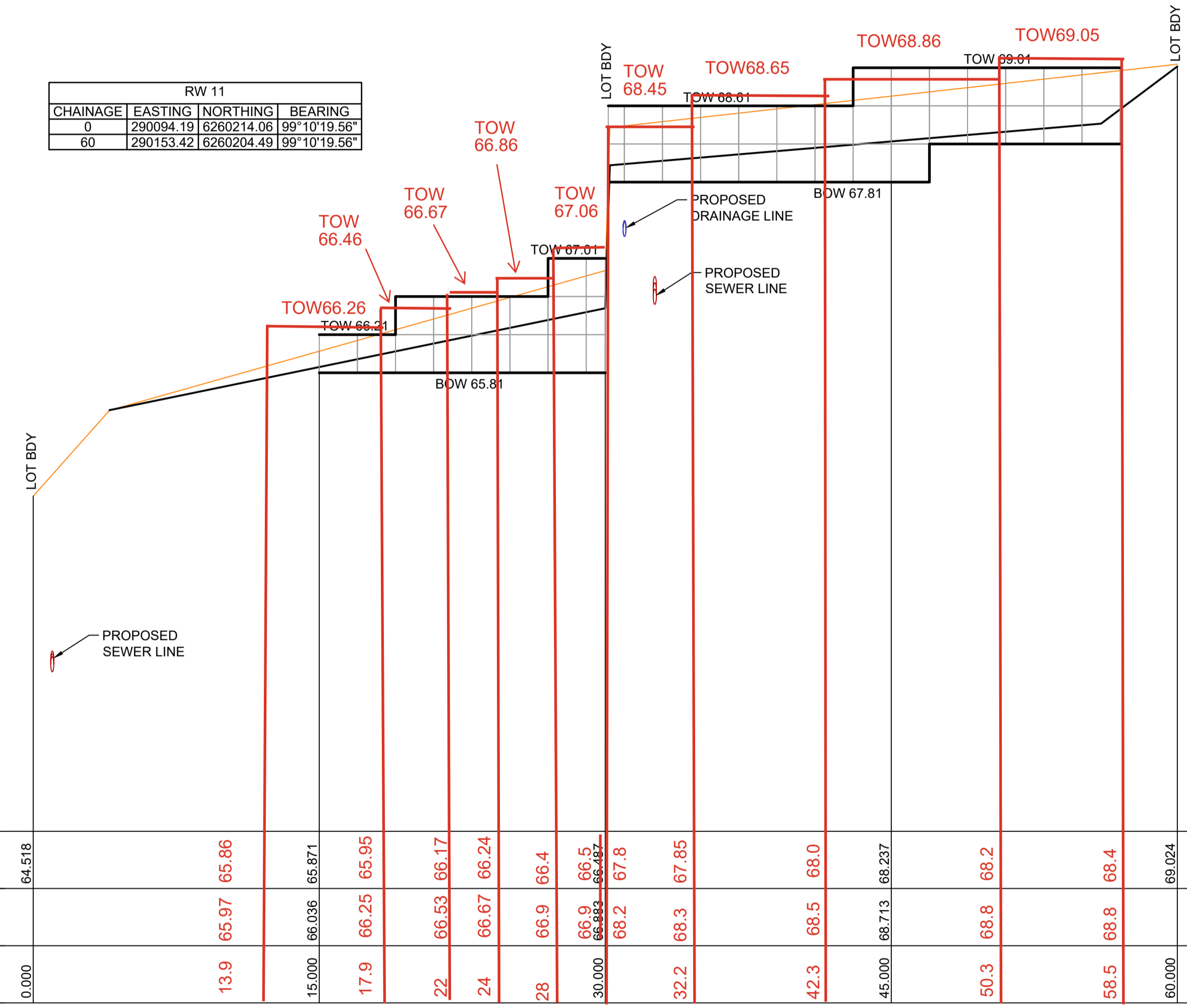
ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 10

PROJECT No:
110265-09
 SHEET No:
DD20609

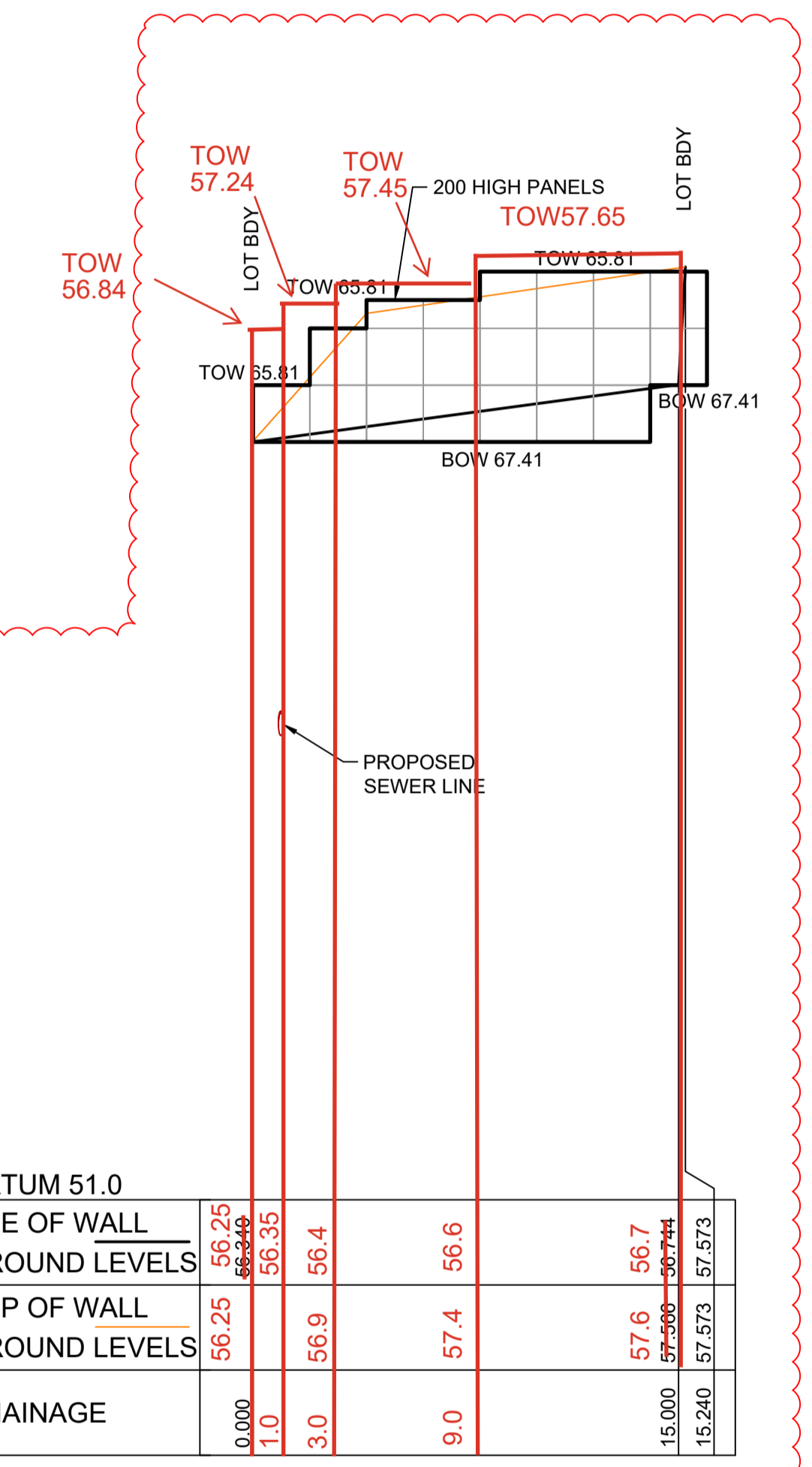
AZIMUTH: M.G.A. 2020	DATUM: A.H.D.	ORIGIN: SSM 1112	PLAN No: 110265-09-DD20609	E
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RW 11			
CHAINAGE	EASTING	NORTHING	BEARING
0	290094.19	6260214.06	99°10'19.56"
60	290153.42	6260204.49	99°10'19.56"



WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU



DATUM 61.0		
TOE OF WALL GROUND LEVELS	64.518	
TOP OF WALL GROUND LEVELS		
CHAINAGE	0.000	

DATUM 51.0		
TOE OF WALL GROUND LEVELS	56.25	
TOP OF WALL GROUND LEVELS		
CHAINAGE	0.000	

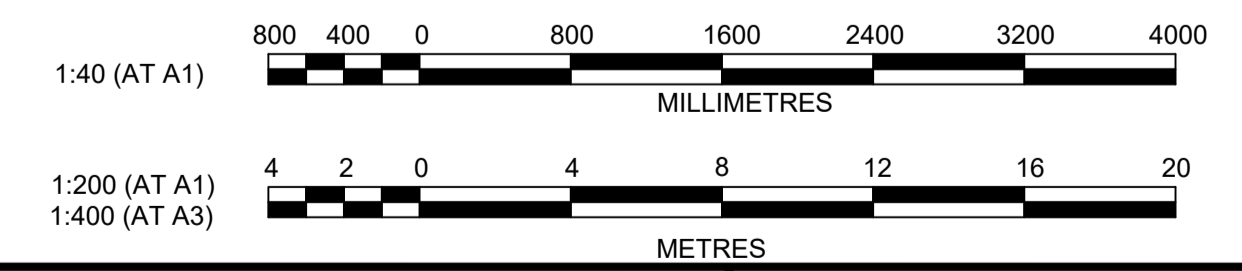
LONG SECTION UPDATED

LONGITUDINAL SECTION RW 20
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40

- NOTES:
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 SUBJECT TO STRUCTURAL CERTIFICATION

PENRITH CITY COUNCIL
 This plan / document relates to
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AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	MS	29/05/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

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 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

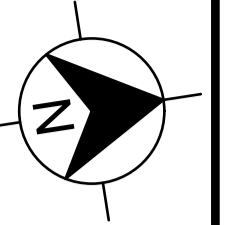
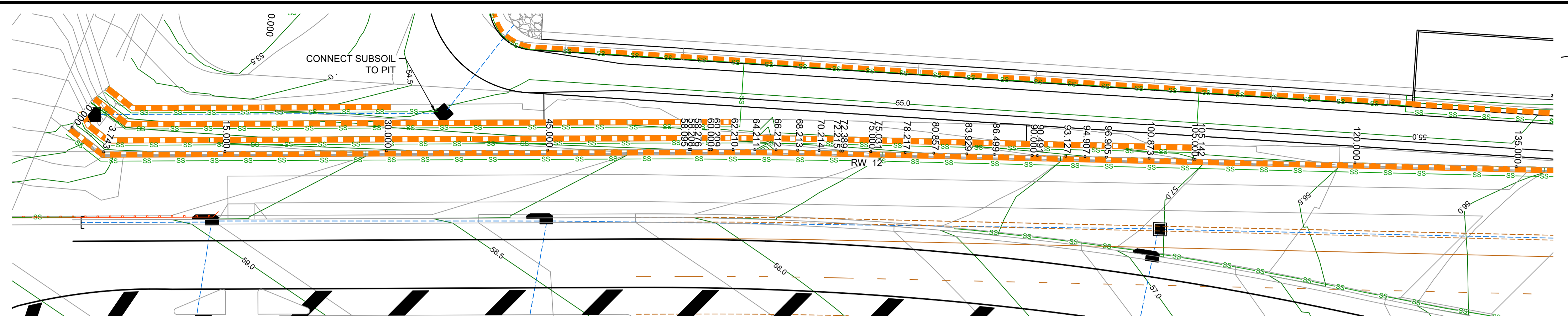
CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 11

PROJECT No:
110265-09
 SHEET No:
DD20610

AZIMUTH: M.G.A. 2020	DATUM: A.H.D.	ORIGIN: SSM 1112	PLAN No: 110265-09-DD20610	D
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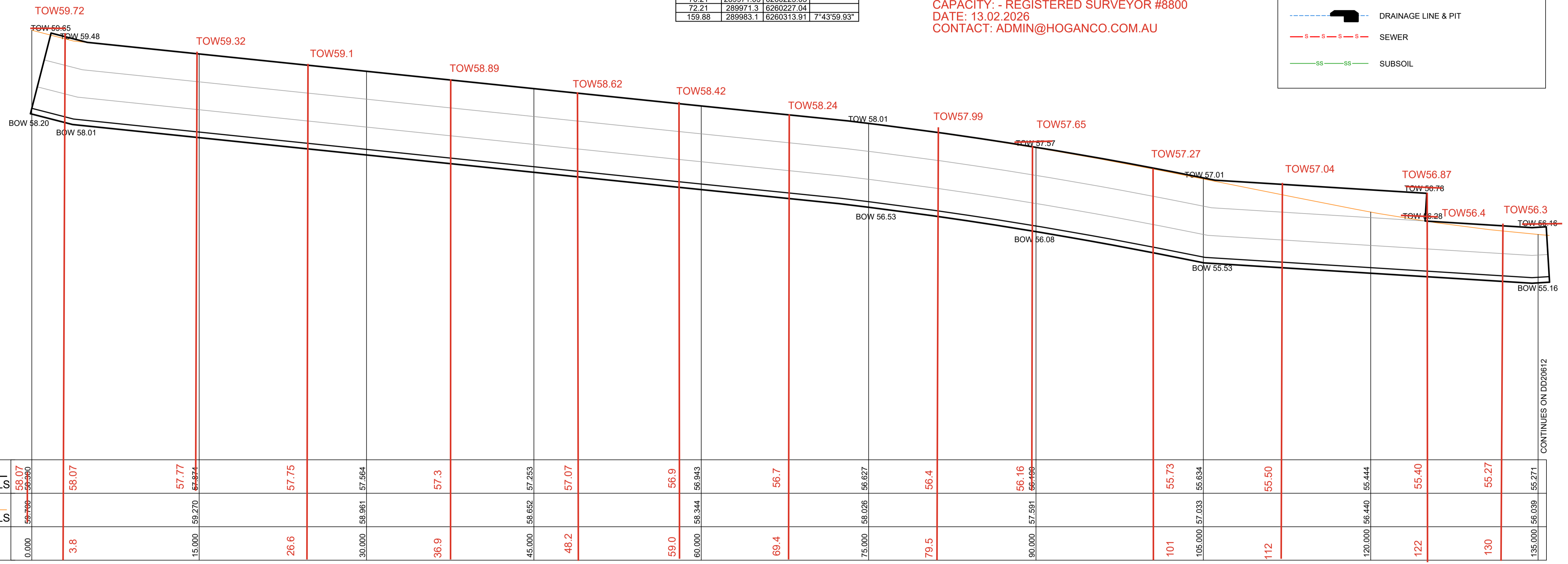
RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

CHAINAGE	EASTING	NORTHING	BEARING
0	289961.13	6260156.31	44°28'37.97"
3.74	289963.75	6260158.98	
58.1	289969.59	6260213.02	
58.21	289969.6	6260213.13	
60.21	289969.82	6260215.12	
62.21	289970.05	6260217.11	
64.21	289970.28	6260219.1	
66.21	289970.52	6260221.08	
68.21	289970.78	6260223.07	
70.21	289971.03	6260225.05	
72.21	289971.3	6260227.04	
159.88	289983.1	6260313.91	7°43'59.93"

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL



DATUM 52.0		TOE OF WALL		GROUND LEVELS		TOP OF WALL		GROUND LEVELS		CHAINAGE	
0.000	58.07	3.8	58.07	15.000	57.77	26.6	57.75	30.000	57.564	36.9	57.3
15.000	57.77	48.2	57.07	45.000	57.253	59.0	56.9	60.000	56.943	69.4	56.7
60.000	56.943	79.5	56.4	75.000	56.627	90.000	56.16	101	55.73	112	55.50
105.000	55.694	120.000	55.444	122	55.40	130	55.27	135.000	55.271		

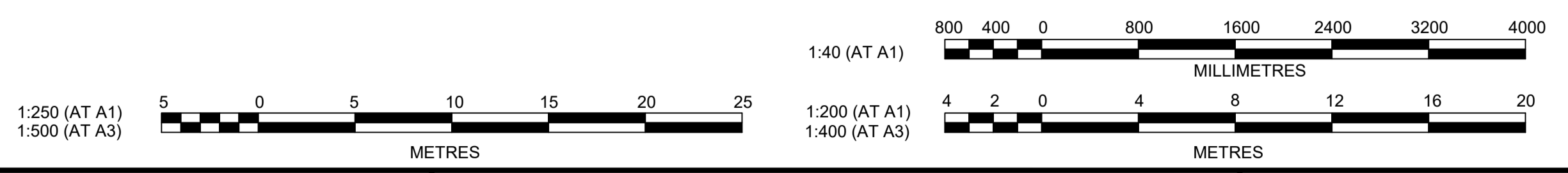
NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY. SUBJECT TO STRUCTURAL CERTIFICATION
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LONGITUDINAL SECTION RW 12
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

LONG SECTION UPDATED

PENRITH CITY COUNCIL
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AMENDMENT	DES	DRN	CKD	APR	DATE
E					18/08/25
D					13/06/25
C					26/03/25
B					17/12/24
A					06/12/24

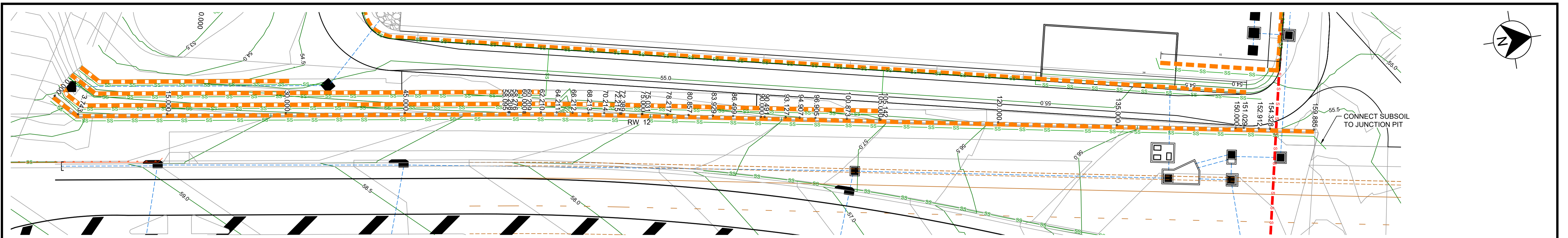
jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 12

PROJECT No:
110265-09
SHEET No:
DD20611
PLAN No: 110265-09-DD20611

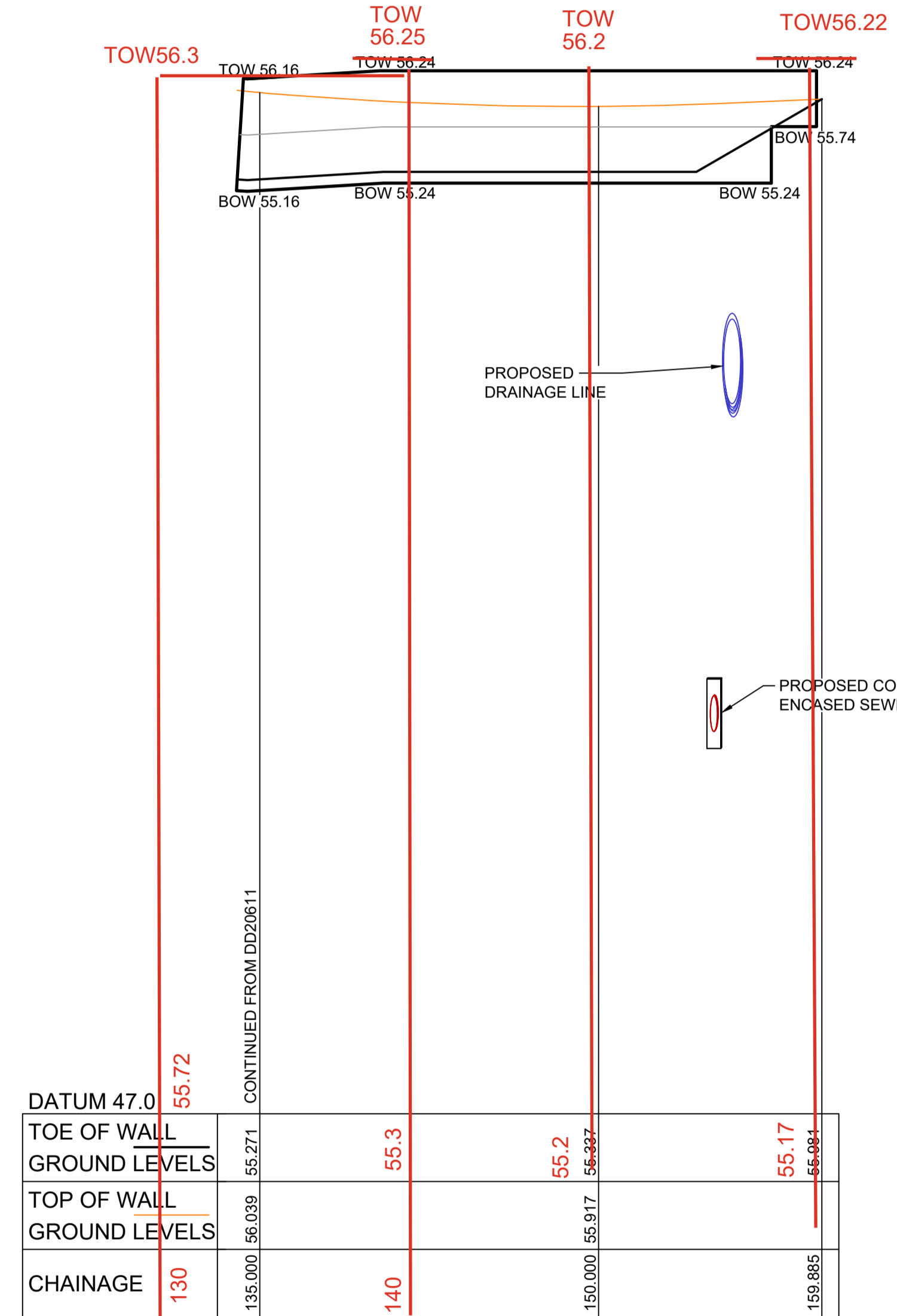


RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

RW 12 BOTTOM			
CHAINAGE	EASTING	NORTHING	BEARING
0	289961.13	6260156.31	44°28'37.97"
3.74	289963.75	6260158.98	
58.1	289969.59	6260213.02	
58.21	289969.6	6260213.13	
60.21	289969.82	6260215.12	
62.21	289970.05	6260217.11	
64.21	289970.28	6260219.1	
66.21	289970.52	6260221.08	
68.21	289970.78	6260223.07	
70.21	289971.03	6260225.05	
72.21	289971.3	6260227.04	
159.88	289983.1	6260313.91	7°43'59.93"

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

LEGEND	
	RETAINING WALL (SANDSTONE LOG)
	INTERALLOTMENT DRAINAGE LINE & PIT
	DRAINAGE LINE & PIT
	SEWER
	SUBSOIL



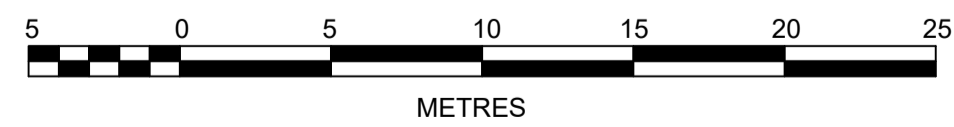
DATUM	47.0
TOE OF WALL	55.72
GROUND LEVELS	55.21
TOP OF WALL	55.3
GROUND LEVELS	55.2
CHAINAGE	130
	135.000
	140
	150.000
	159.885

LONGITUDINAL SECTION RW 12
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

PENRITH CITY COUNCIL
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Subdivision Works Certificate: EA25/0006
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1:250 (AT A1)
1:500 (AT A3)



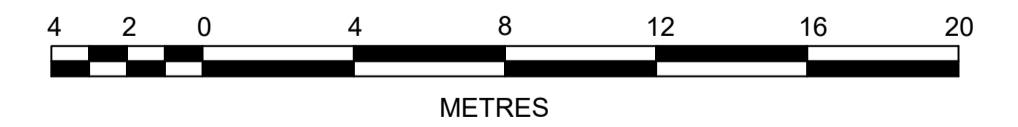
1:20 (AT A1)



1:40 (AT A1)



1:200 (AT A1)
1:400 (AT A3)



AMENDMENT	DES	DRN	CKD	APR	DATE
E					
D					
C					
B					
A					

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

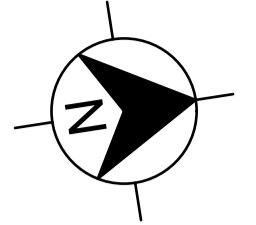
STATUS:
ISSUE FOR SWC APPROVAL
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**ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD**
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 13

PROJECT No:
110265-09
SHEET No:
DD20612

AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112
PLAN No: 110265-09-DD20612

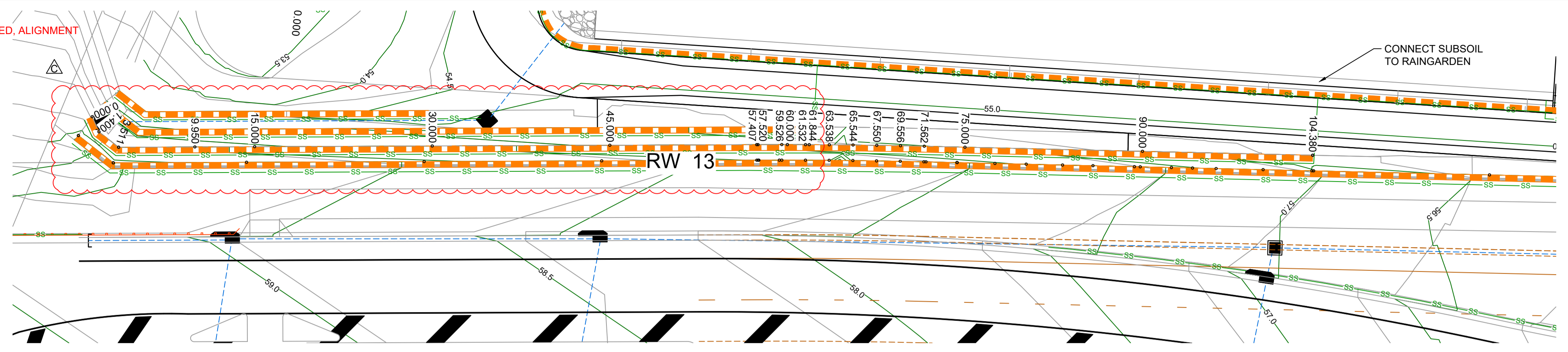
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LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

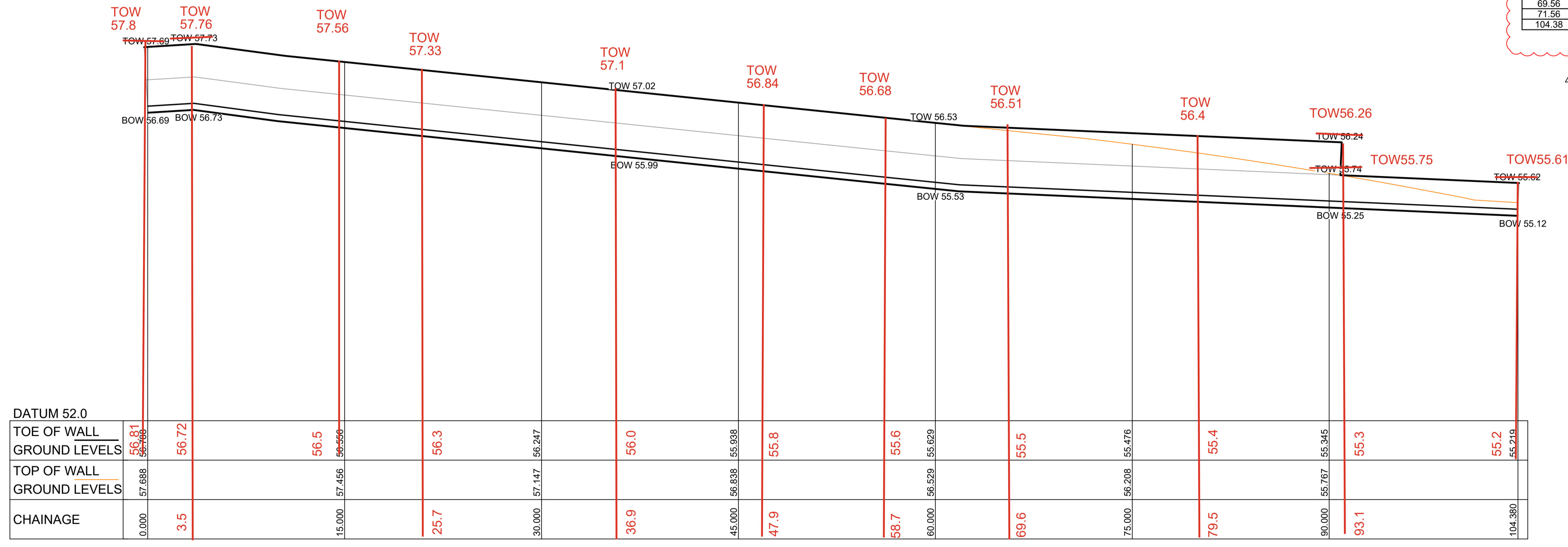
LEGEND UPDATED



RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

RW 13			
CHAINAGE	EASTING	NORTHING	BEARING
0	289959.68	6260157.65	72°15'45.12"
1.4	289961.01	6260158.07	
3.51	289962.49	6260159.58	
57.41	289968.28	6260213.16	
57.52	289968.3	6260213.28	
59.53	289968.52	6260215.27	
61.53	289968.74	6260217.26	
63.54	289968.98	6260219.25	
65.54	289969.22	6260221.25	
67.55	289969.47	6260223.24	
69.56	289969.73	6260225.23	
71.56	289970	6260227.21	
104.38	289974.41	6260259.73	7°43'59.93"



LONGITUDINAL SECTION RW 13
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

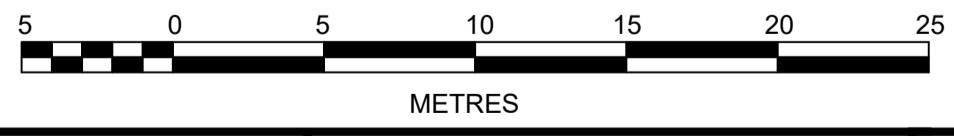
NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS FOR CONCRETE SLEEPER WALLS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

LONG SECTION UPDATED; PROPOSED DRAINAGE & SEWER SHOWN

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent

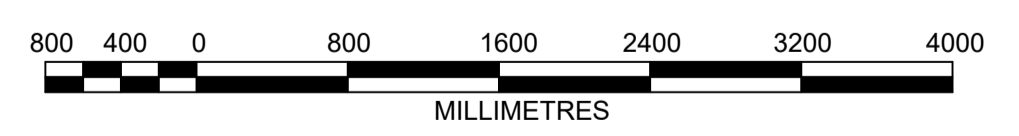
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1:500 (AT A3)



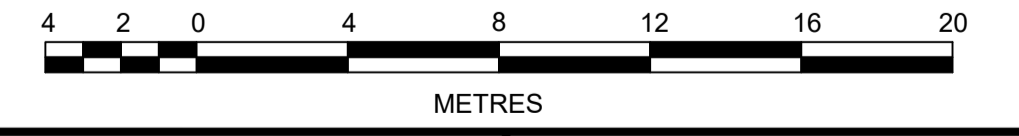
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1:40 (AT A1)



1:200 (AT A1)
1:400 (AT A3)



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AMENDMENT	DES	DRN	CKD	APR	DATE	
C		GA	RT	MS	26/03/25	
B		MMC	EJ	RT	MS	17/12/24
A		MMC	GA	RT	MS	06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

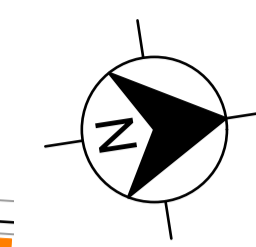
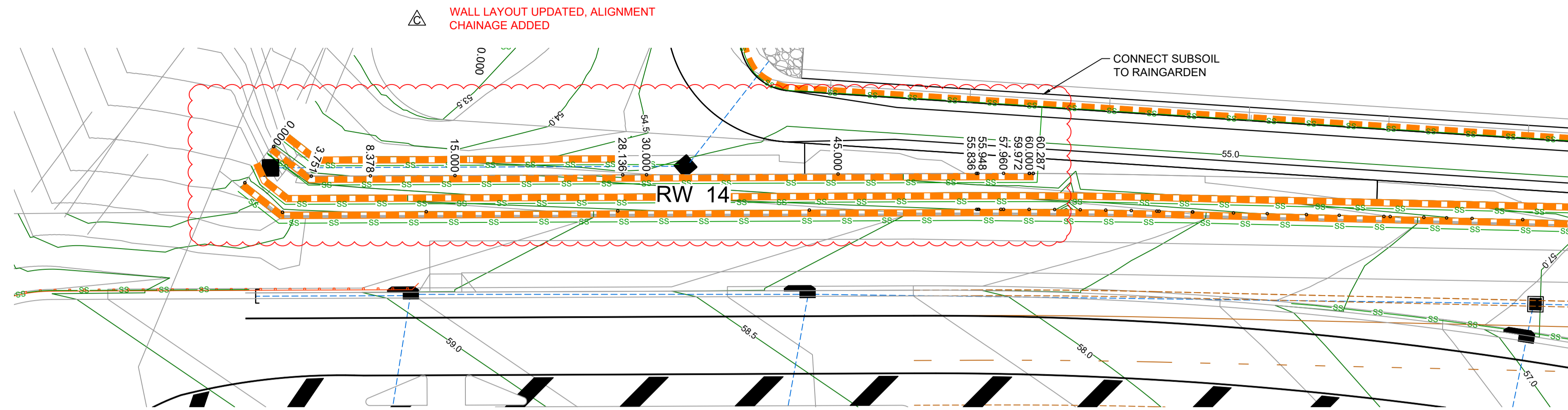
ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 14

PROJECT No: 110265-09
SHEET No: DD20613

PLAN No: 110265-09-DD20613

PROJECT No: 110265-09
SHEET No: DD20613

AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112



LEGEND

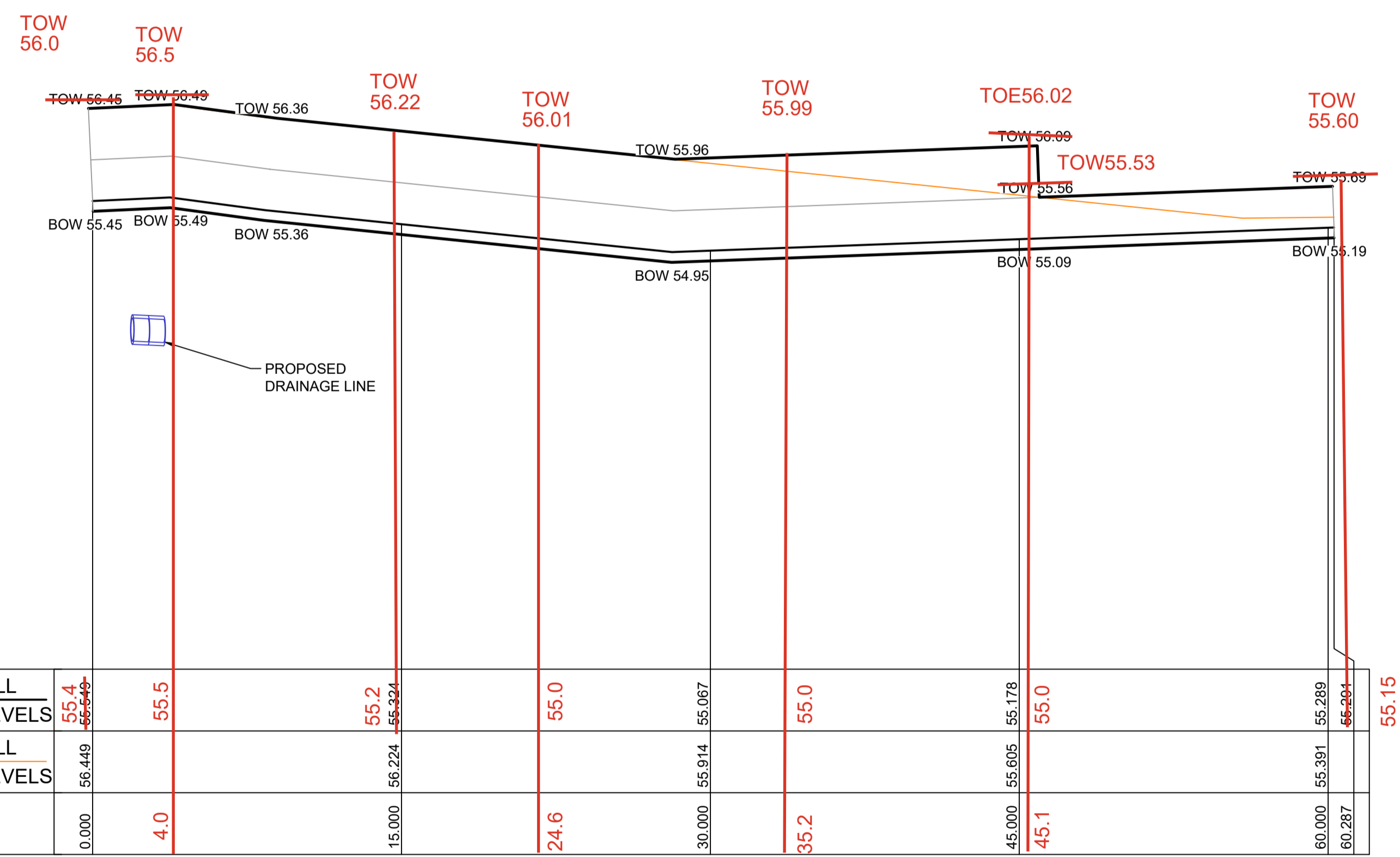
- RETAINING WALL (SANDSTONE LOG)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

LEGEND UPDATED

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY. SUBJECT TO STRUCTURAL CERTIFICATION

RW 14

CHAINAGE	EASTING	NORTHING	BEARING
0	289958.57	6260158.87	44°28'37.13"
3.75	289961.19	6260161.54	
55.84	289966.79	6260213.32	
55.95	289966.8	6260213.44	
57.96	289967.02	6260215.44	
59.97	289967.25	6260217.44	
60.29	289967.29	6260217.75	6°45'05.49"

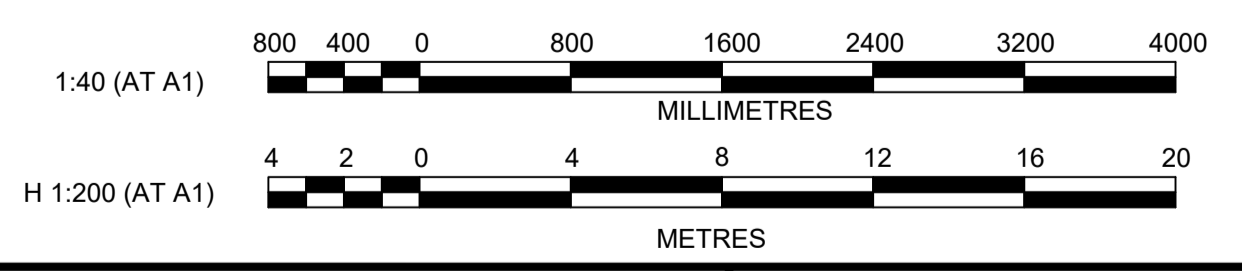


WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL

This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006

Subject to the conditions outlined in the consent



- NOTES:**
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LONG SECTION UPDATED; PROPOSED DRAINAGE & SEWER SHOWN

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AMENDMENT	DES	DRN	CKD	APR	DATE
C					26/03/25
B					17/12/24
A					06/12/24

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P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: **LEGACYPROPERTY**

STATUS: **ISSUE FOR SWC APPROVAL**

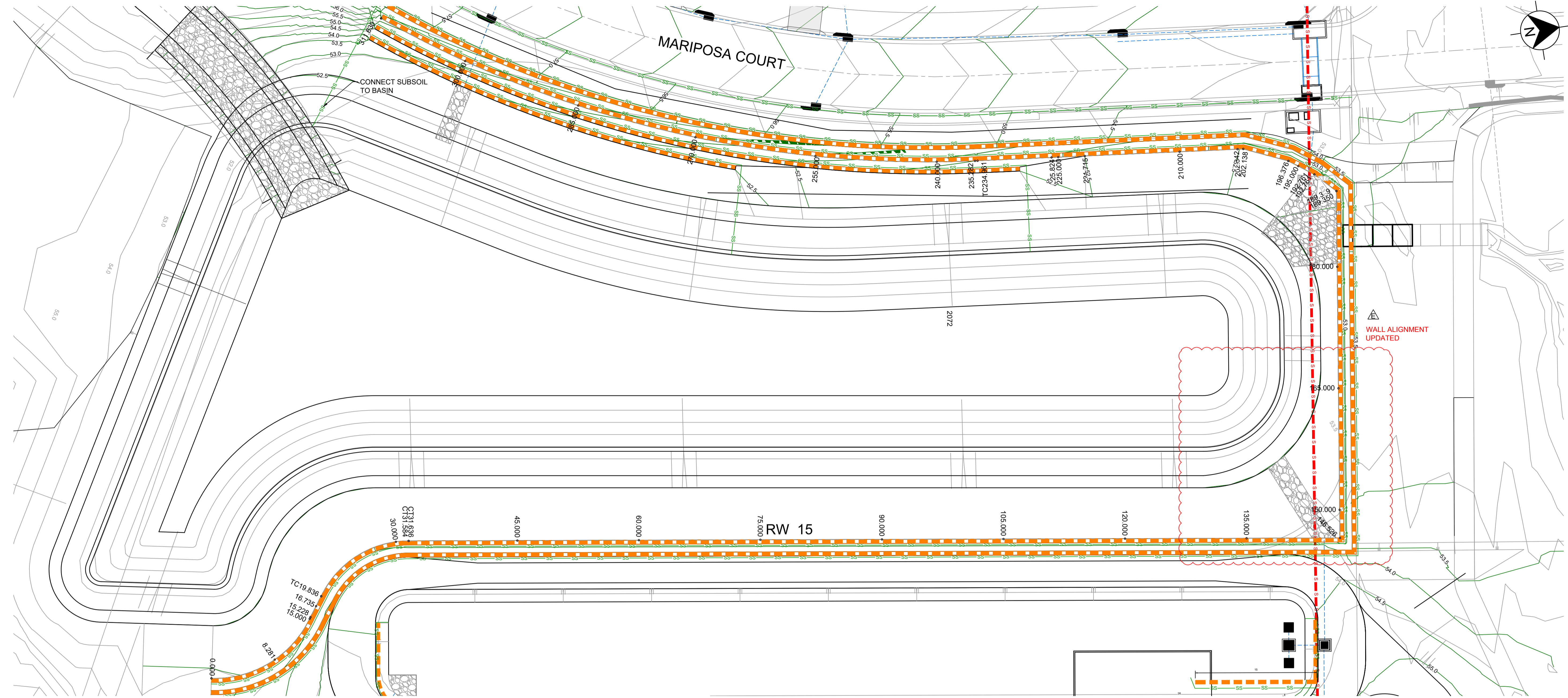
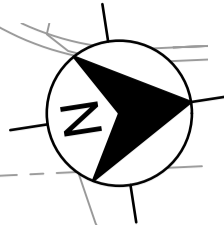
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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 15

PROJECT No: **110265-09**
SHEET No: **DD20614**

AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112
PLAN No: 110265-09-DD20614

C



LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

NOTES:

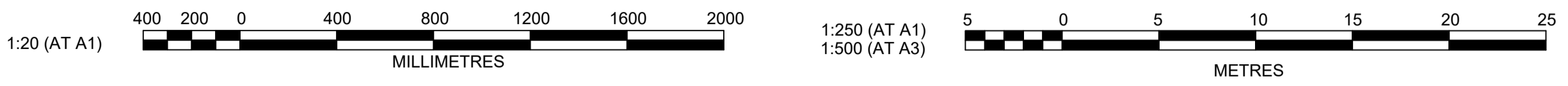
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RW 15					
CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	A LENGTH
0	289950.41	6260176.19	12°06'05.82"		
7.61	289952.21	6260184.62		-13	15.23
15.23	289945.15	6260189.57			
18.12	289942.85	6260191.33			
24.85	289936.74	6260195.75		12	13.46
31.58	289938.07	6260203.17	10°06'40.63"		
146.53	289958.25	6260316.32			
189.35	289916.04	6260323.55			
192.76	289913.53	6260321.23			
196.38	289911.32	6260318.37			
202.14	289908.87	6260313.16			
234.96	289904.44	6260280.64	187°44'44.62"		
273.3	289899.14	6260241.64		137.5	76.67
311.63	289874	6260211.35	219°41'36.59"		

SETOUT TABLE UPDATED

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD *Craig*
 SIGNATURE:
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
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 Development Consent: MOD25/0053
 Subdivision Works Certificate: EA25/0006
 Subject to the conditions outlined in the consent



AMENDMENT	DES	DRN	CKD	APR	DATE
E	MMC	GA	RT	RT	18/08/25
D	MMC	GA	RT	MS	18/06/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: **ISSUE FOR SWC APPROVAL**
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ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 16

PROJECT No: 110265-09
 SHEET No: DD20615
 PLAN No: 110265-09-DD20615

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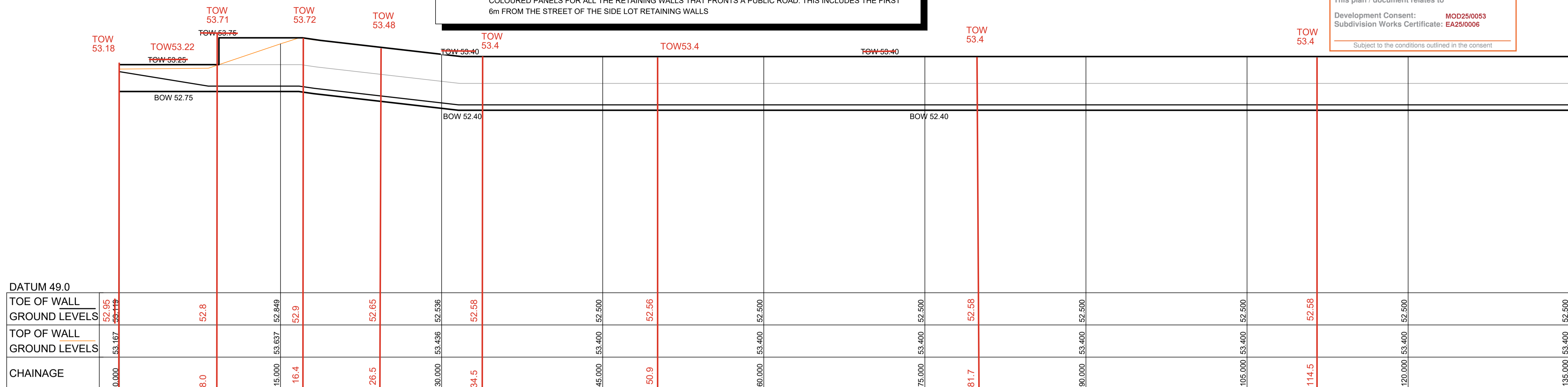
RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

NOTES:

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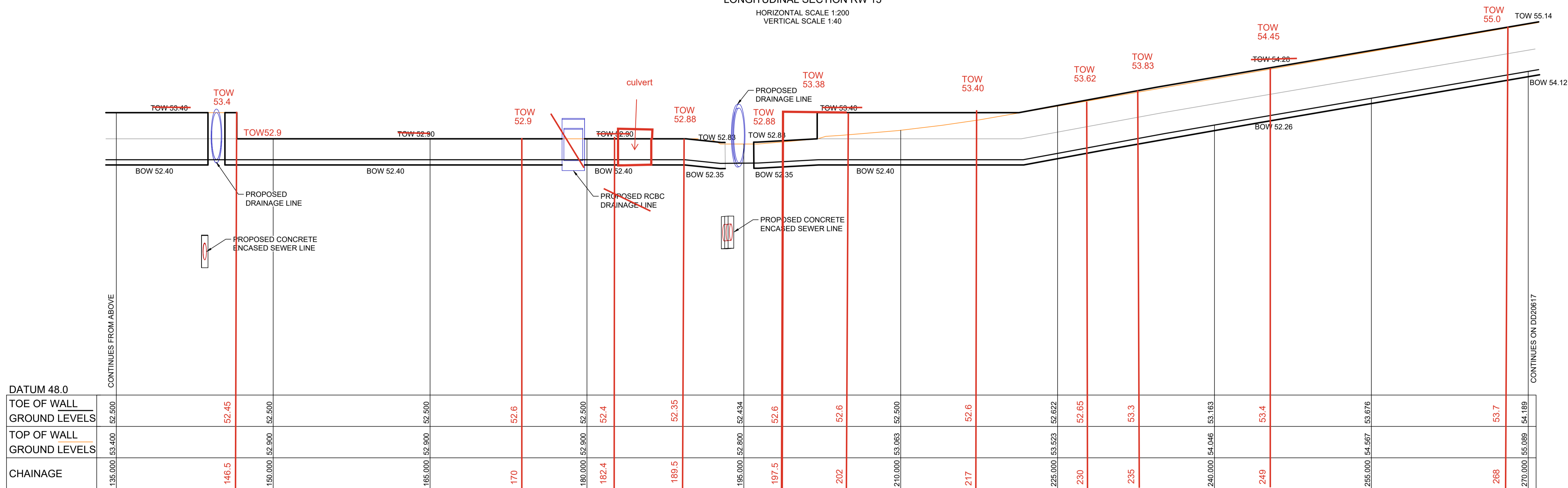
WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig S Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS
Subject to the conditions outlined in the consent



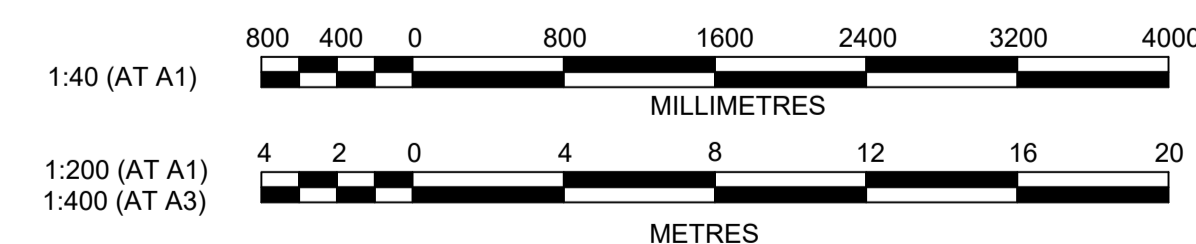
LONGITUDINAL SECTION RW 15

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



LONGITUDINAL SECTION RW 15

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40



LONG SECTIONS UPDATED

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AMENDMENT	DES	DRN	CKD	APR	DATE
D					18/08/25
C					26/03/25
B					17/12/24
A					06/12/24

jwp
LEVEL 2, 50 BELMORE STREET, PENRITH NSW
P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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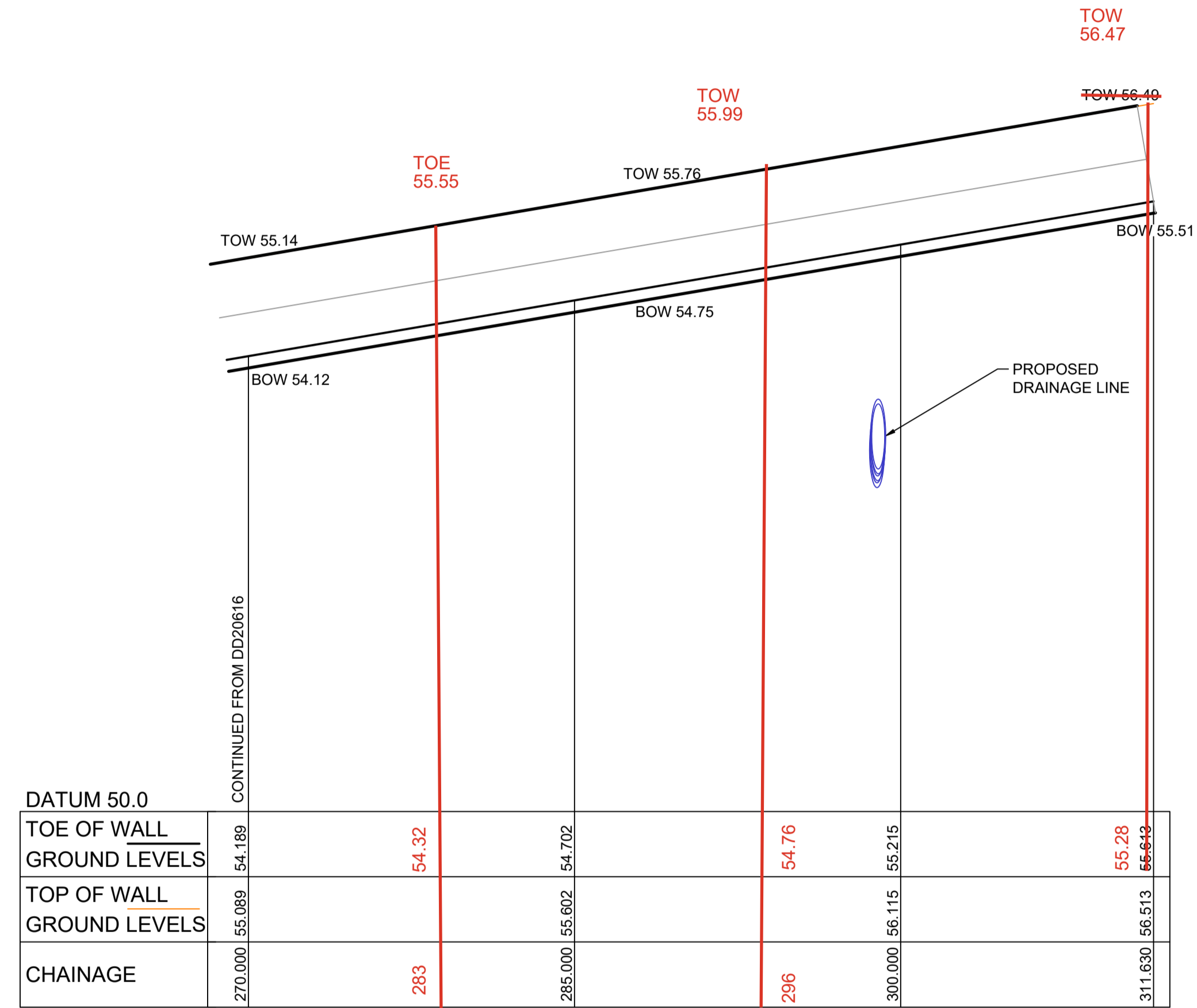
**ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 17**

PROJECT No:
110265-09
SHEET No:
DD20616

AZIMUTH: M.G.A. 2020	DATUM: A.H.D.	ORIGIN: SSM 1112	PLAN No: 110265-09-DD20616	D
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RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU



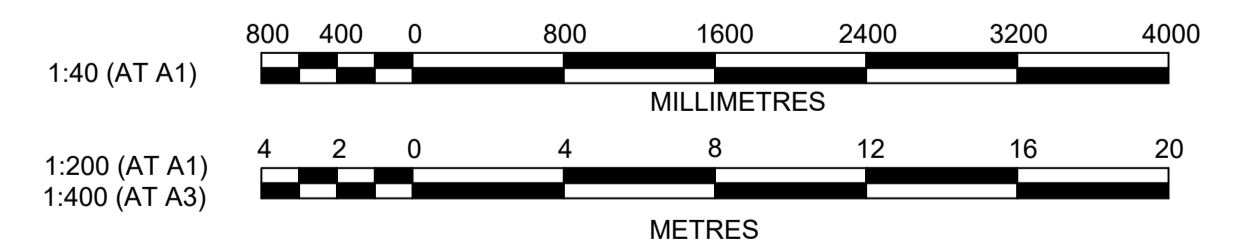
LONGITUDINAL SECTION RW 15
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

LONG SECTION UPDATED

NOTES:

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PENRITH CITY COUNCIL
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AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	RT	18/08/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

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P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

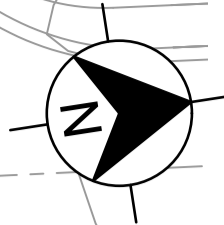
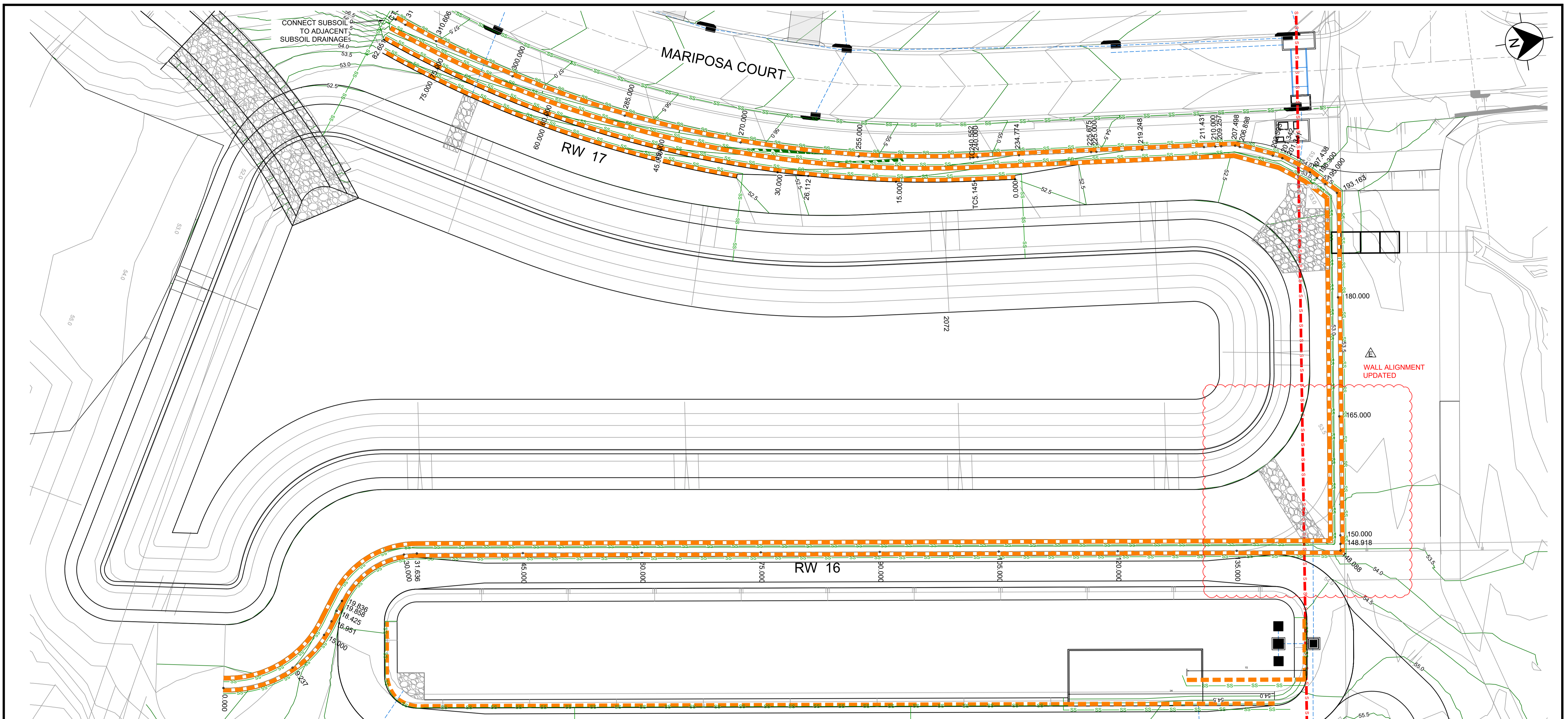
CLIENT:
LEGACYPROPERTY

STATUS:
ISSUE FOR SWC APPROVAL
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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 18

PROJECT No:
110265-09
SHEET No:
DD20617

AZIMUTH: M.G.A. 2020 DATUM: A.H.D. ORIGIN: SSM 1112 PLAN No: 110265-09-DD20617 D



RW 16 BOTTOM

CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	A LENGTH
0	289951.87	6260175.88	12°06'05.82"		
8.48	289953.88	6260185.26		-14.5	16.95
16.95	289946.04	6260190.78			
19.84	289943.75	6260192.53			
25.74	289938.38	6260196.39		10.5	11.8
31.64	289939.54	6260202.9	10°06'40.71"		
148.09	289959.99	6260317.55			
193.16	289915.56	6260325.15			
197.44	289912.42	6260322.25			
201.34	289910.03	6260319.16			
207.5	289907.41	6260313.59			
240.55	289902.96	6260280.84	187°44'44.71"		
278.47	289897.71	6260242.27		136	75.83
316.39	289872.84	6260212.31			
316.39	289872.84	6260212.31	219°41'36.57"		

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

SETOUT TABLE
 UPDATED

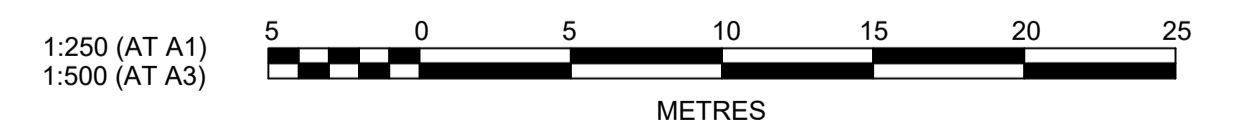
PENRITH CITY COUNCIL
 This plan / document relates to
 Development Consent: MOD25/0053
 Subdivision Works Certificate: EA25/0006
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LEGEND

- RETAINING WALL (SANDSTONE LOG)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

NOTES:

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E	MMC	GA	RT	RT	18/08/25
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C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
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jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 19

PLAN No: 110265-09-DD20618

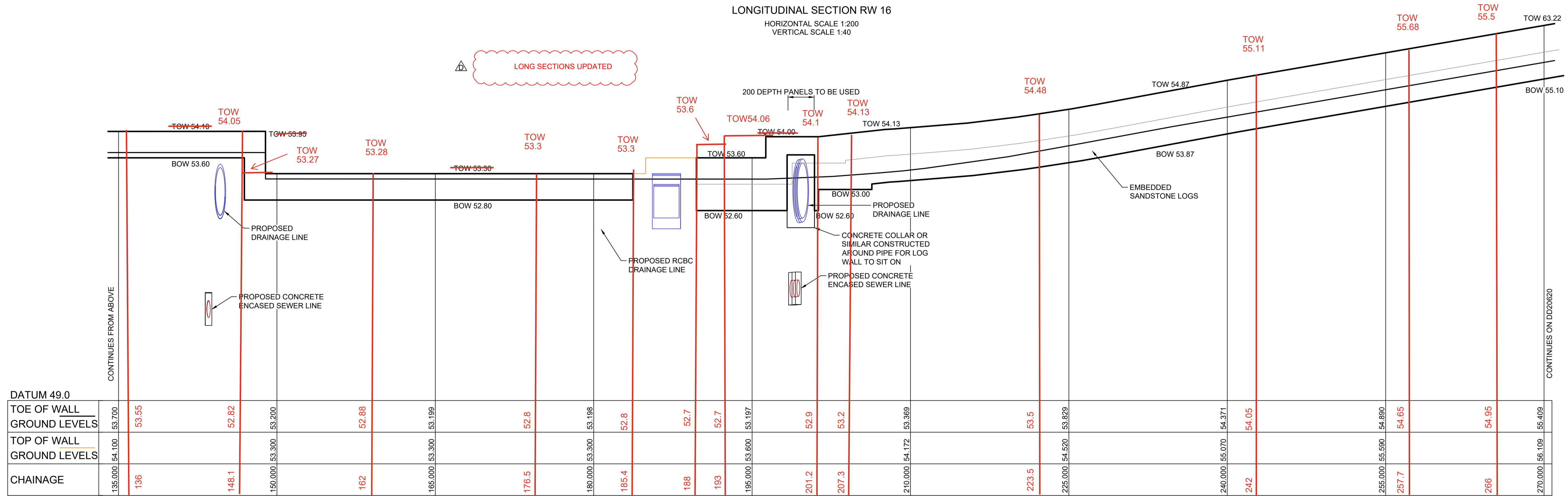
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LONGITUDINAL SECTION RW 16
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40



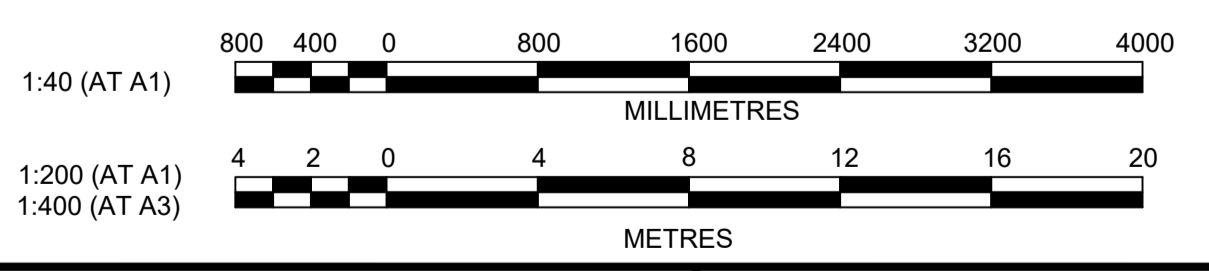
LONGITUDINAL SECTION RW 16
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL
 This plan / document relates to
 Development Consent: MOD25/0053
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AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	RT	18/08/25
C	MMC	GA	RT	MS	26/03/25
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A	MMC	GA	RT	MS	06/12/24

jwp
 LEVEL 2, 50 BELMORE STREET, PENRITH NSW
 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
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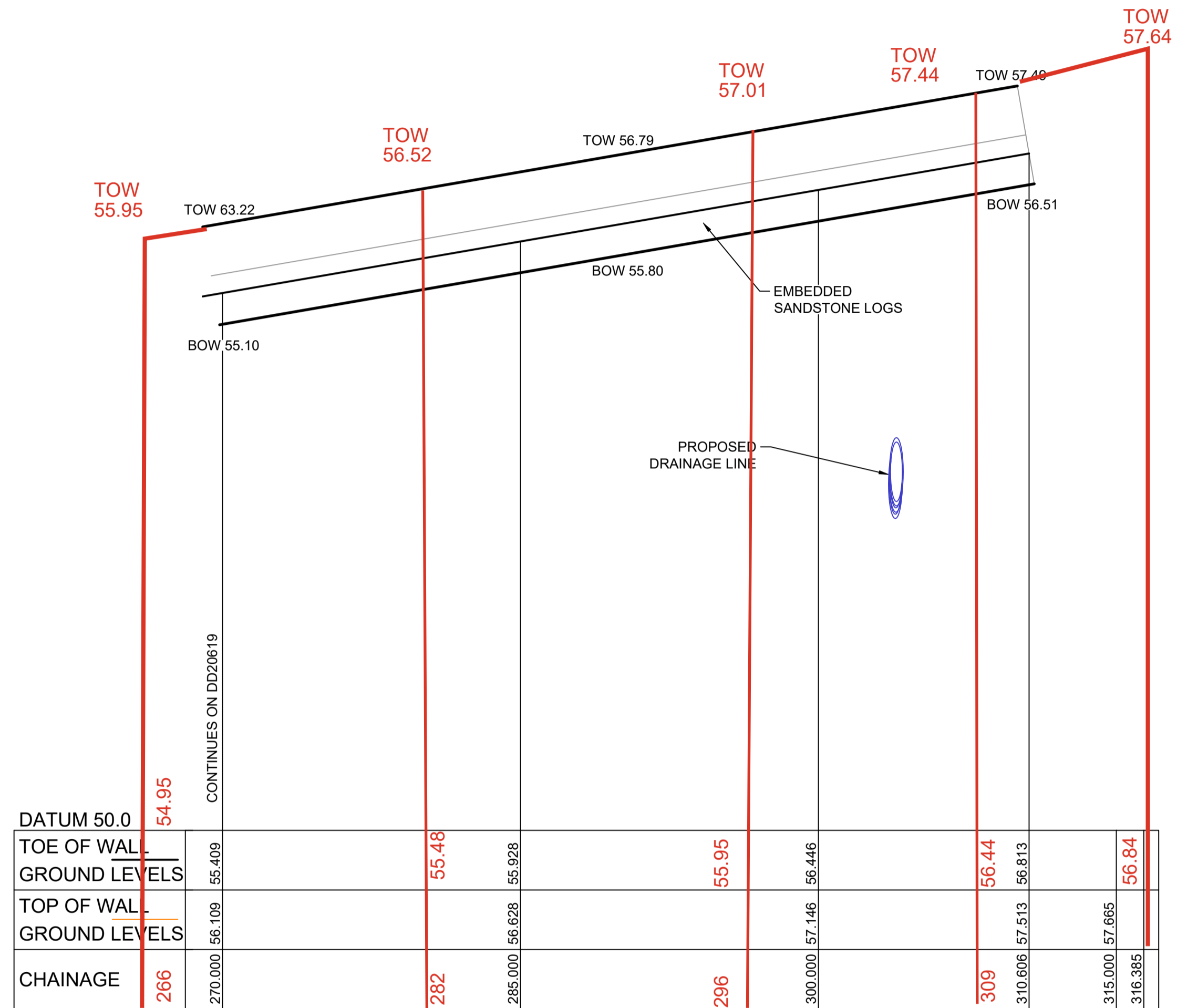
ORCHARD HILLS NORTH
 STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 20

PROJECT No:
110265-09
 SHEET No:
DD20619
 PLAN No: 110265-09-DD20619

D

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD
SIGNATURE: *Craig Lonard*
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU



LONGITUDINAL SECTION RW 16

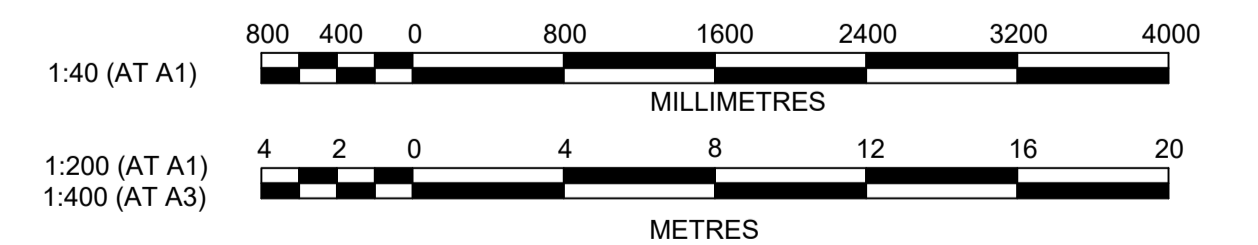
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

LONG SECTION UPDATED

NOTES:

- LOCALLY GRADE THE TOP & BOTTOM OF RETAINING WALL GROUND LEVELS TO MAINTAIN 1.5m MAX. VISIBLE HEIGHT
- RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
- SUBJECT TO STRUCTURAL CERTIFICATION
- THE SUPPORTS/POSTS FOR CONCRETE SLEEPER WALLS SHALL BE PAINTED TO MATCH THE SANDSTONE COLOURED PANELS FOR ALL THE RETAINING WALLS THAT FRONTS A PUBLIC ROAD. THIS INCLUDES THE FIRST 6m FROM THE STREET OF THE SIDE LOT RETAINING WALLS

PENRITH CITY COUNCIL
This plan / document relates to
Development Consent: MOD25/0053
Subdivision Works Certificate: EA25/0006
Subject to the conditions outlined in the consent



Printed: 20 August, 2025 7:34:11 PM File Name: C:\Synergy\W\Subdata\AS\JWP\07110265-09 - Precinct 1 Development - 13639\Design\DD\Stage 2 SW\0110265-09-DD20620.dwg

AMENDMENT	DES	DRN	CKD	APR	DATE
D	MMC	GA	RT	RT	18/08/25
C	MMC	GA	RT	MS	26/03/25
B	MMC	EJ	RT	MS	17/12/24
A	MMC	GA	RT	MS	06/12/24

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P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT:
LEGACYPROPERTY

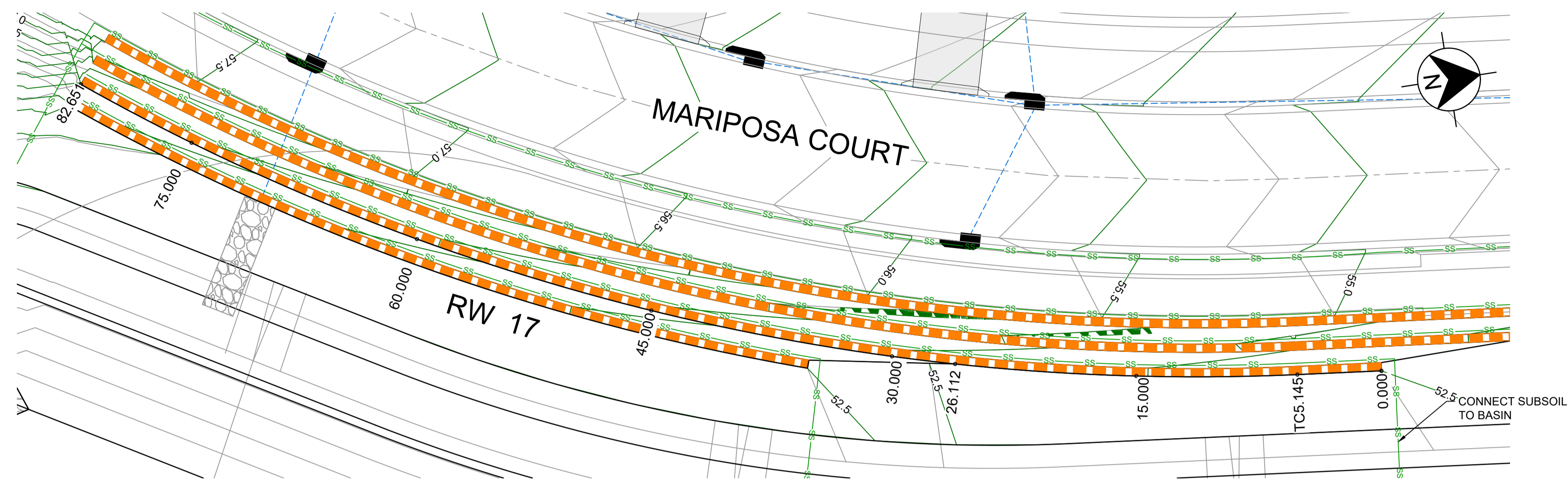
STATUS:
ISSUE FOR SWC APPROVAL
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

**ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD**
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 21

PROJECT No:
110265-09
SHEET No:
DD20620

AZIMUTH: M.G.A. 2020 DATUM: A.H.D. ORIGIN: SSM 1112 PLAN No: 110265-09-DD20620

P:\20 August 2025 7:34:11 PM File Name: C:\Synergy\Sydata\AS\JWP\07110265-09 - Precinct 1 Development_13639\Design\DD\Stage 2 SWC\110265-09-DD20621.dwg



LEGEND

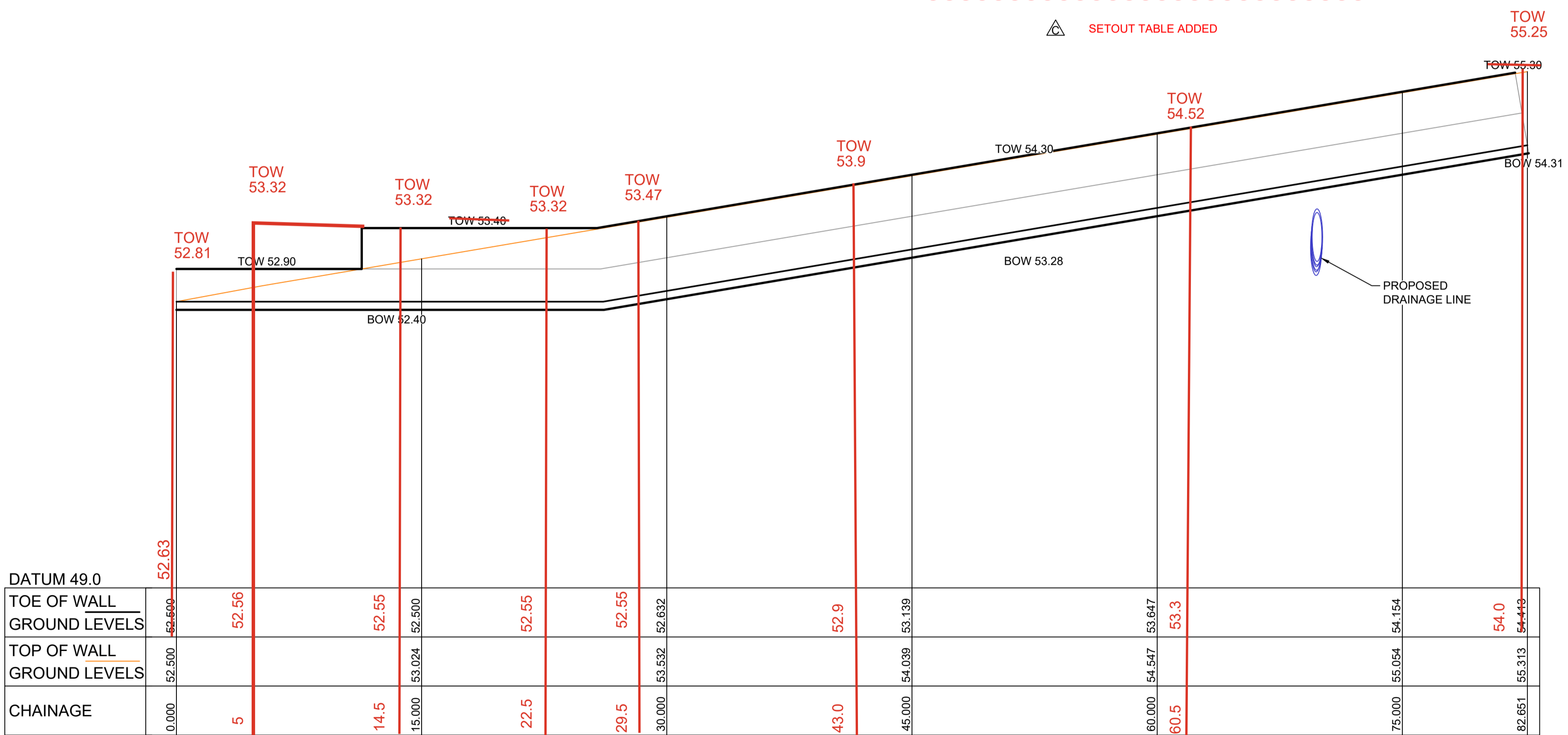
- RETAINING WALL (SANDSTONE LOG)
- INTERALLOTMENT DRAINAGE LINE & PIT
- DRAINAGE LINE & PIT
- SEWER
- SUBSOIL

△ LEGEND UPDATED

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
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RW 17					
CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	A LENGTH
0	289906.62	6260285.53	187°44'44.62"		
5.15	289905.93	6260280.44	187°44'44.62"		
43.9	289900.57	6260241.01		139	77.51
82.65	289875.15	6260210.39	219°41'36.77"		

△ SETOUT TABLE ADDED



LONGITUDINAL SECTION RW 17
 HORIZONTAL SCALE 1:200
 VERTICAL SCALE 1:40

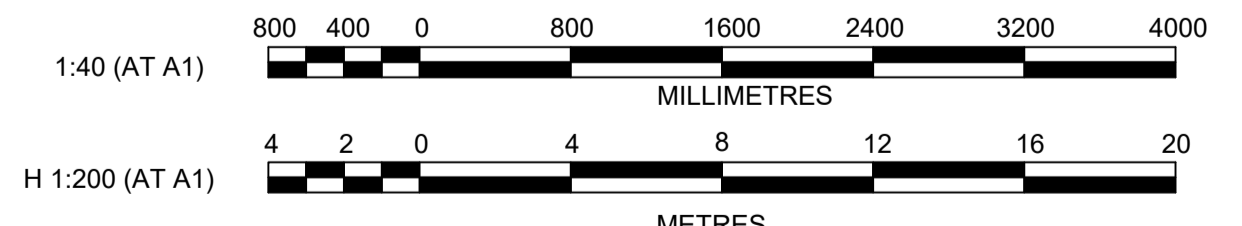
△ LONG SECTION UPDATED; PROPOSED DRAINAGE & SEWER SHOWN

WORKS AS EXECUTED AS SHOWN IN RED
 NAME: - CRAIG S LONARD
 SIGNATURE: *Craig Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
 CONTACT: ADMIN@HOGANCO.COM.AU

PENRITH CITY COUNCIL

This plan / document relates to
 Development Consent: MOD2510053
 Subdivision Works Certificate: EA25/0006
 Subject to the conditions outlined in the consent

- NOTES:**
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AMENDMENT	DES	DRN	CKD	APR	DATE
C	MM	GA	RT	MS	26/03/25
B	MM	EJ	RT	MS	17/12/24
A	MM	GA	RT	MS	06/12/24

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 P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

ISSUE FOR
 SWC APPROVAL

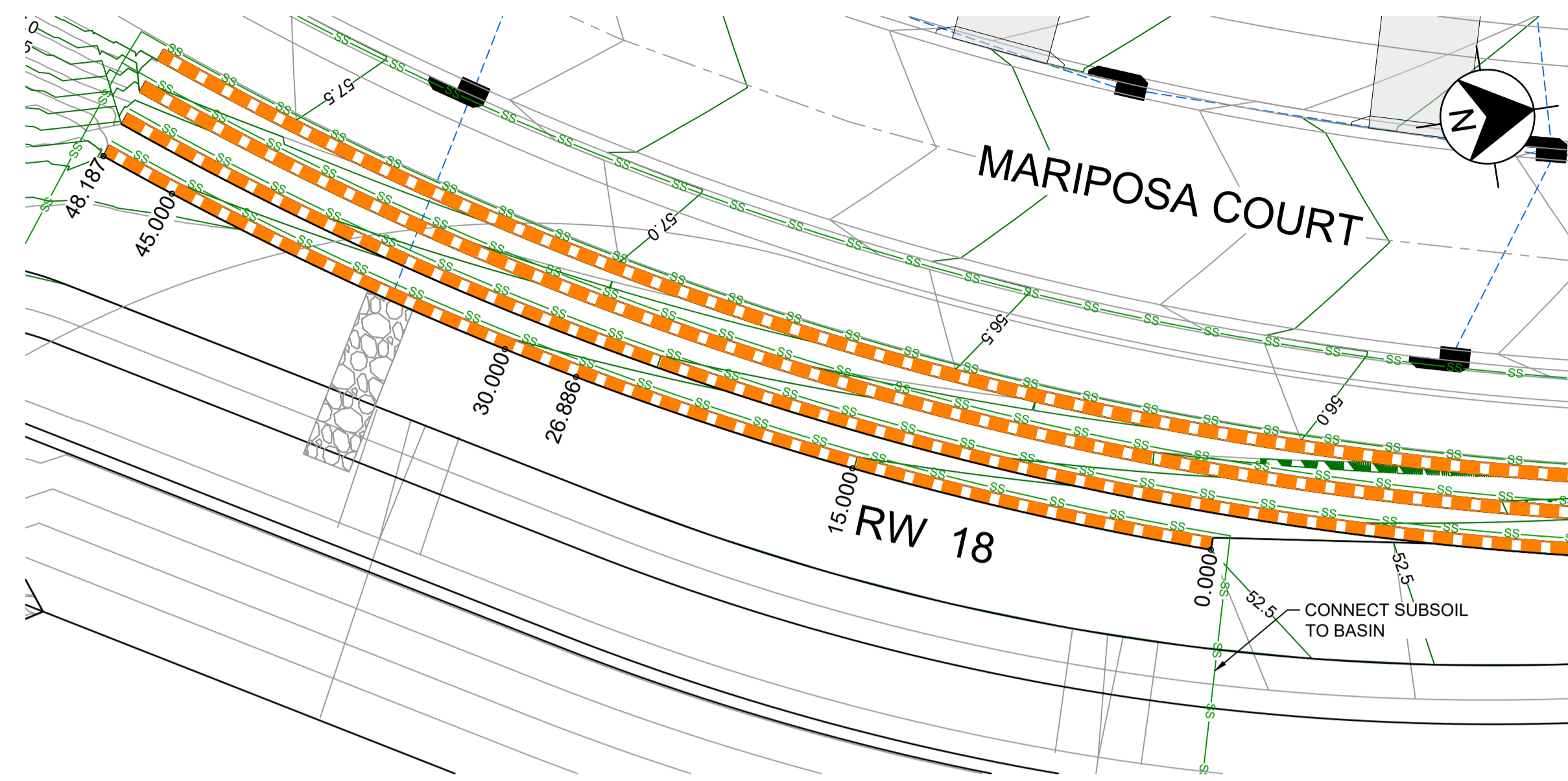
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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
 RETAINING WALL PLAN & LONGITUDINAL SECTIONS
 SHEET 22

PROJECT No:
110265-09
 SHEET No:
DD20621

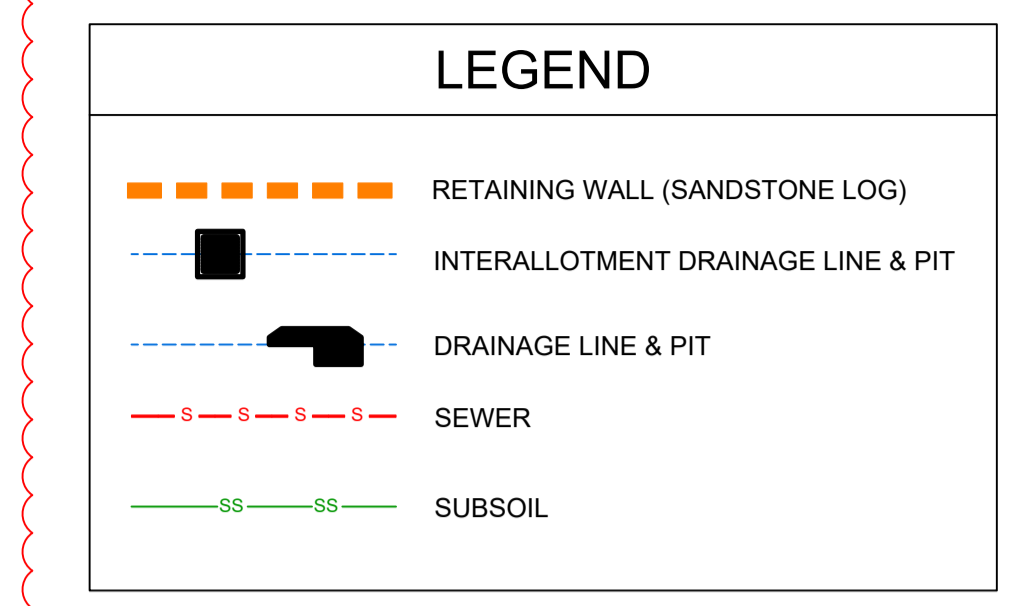
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P:\020 August 2025 7:34:12 PM File Name: C:\Synergy\W\Subdata\AS\JWP\07110265-09 - Precinct 1 Development_13633\Design\DD\Stage 2 SWC\110265-09-DD20622.dwg

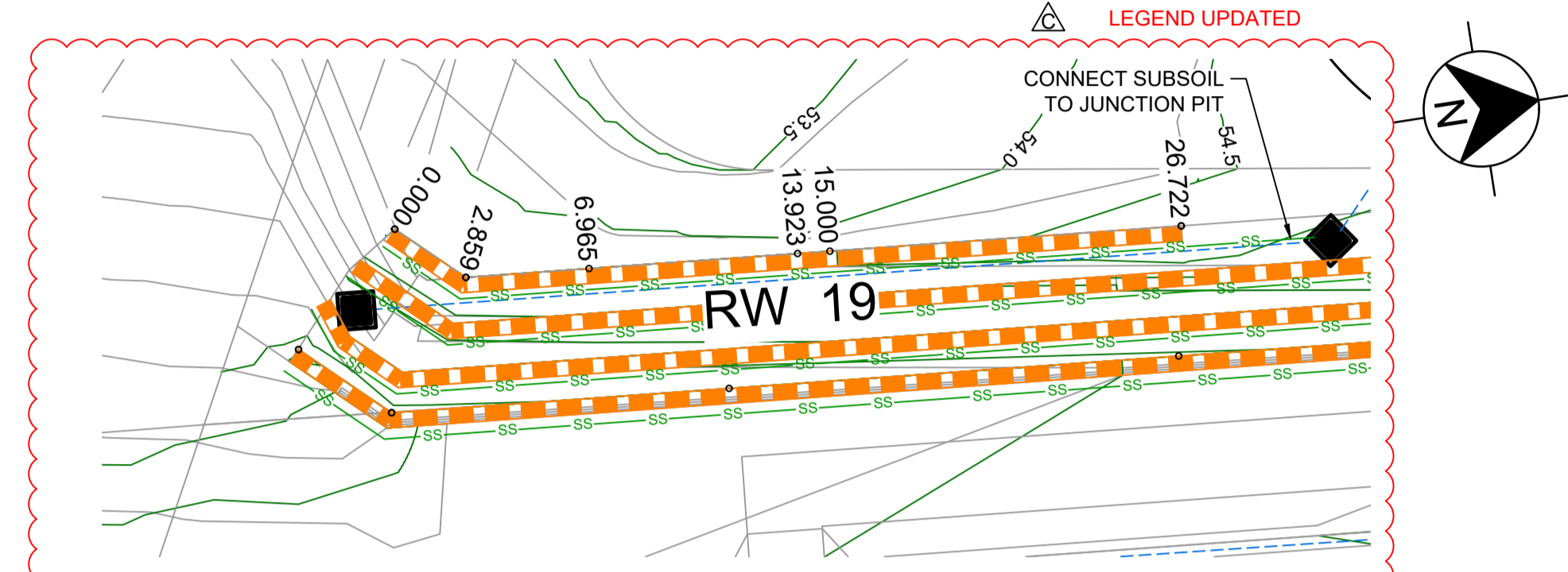


RW 18					
CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	A LENGTH
0	289900.19	6260251.02	200°02'34.81"		
24.09	289891.85	6260228.16		140.5	48.19
48.19	289876.31	6260209.44	219°41'36.77"		

SETOUT TABLE ADDED

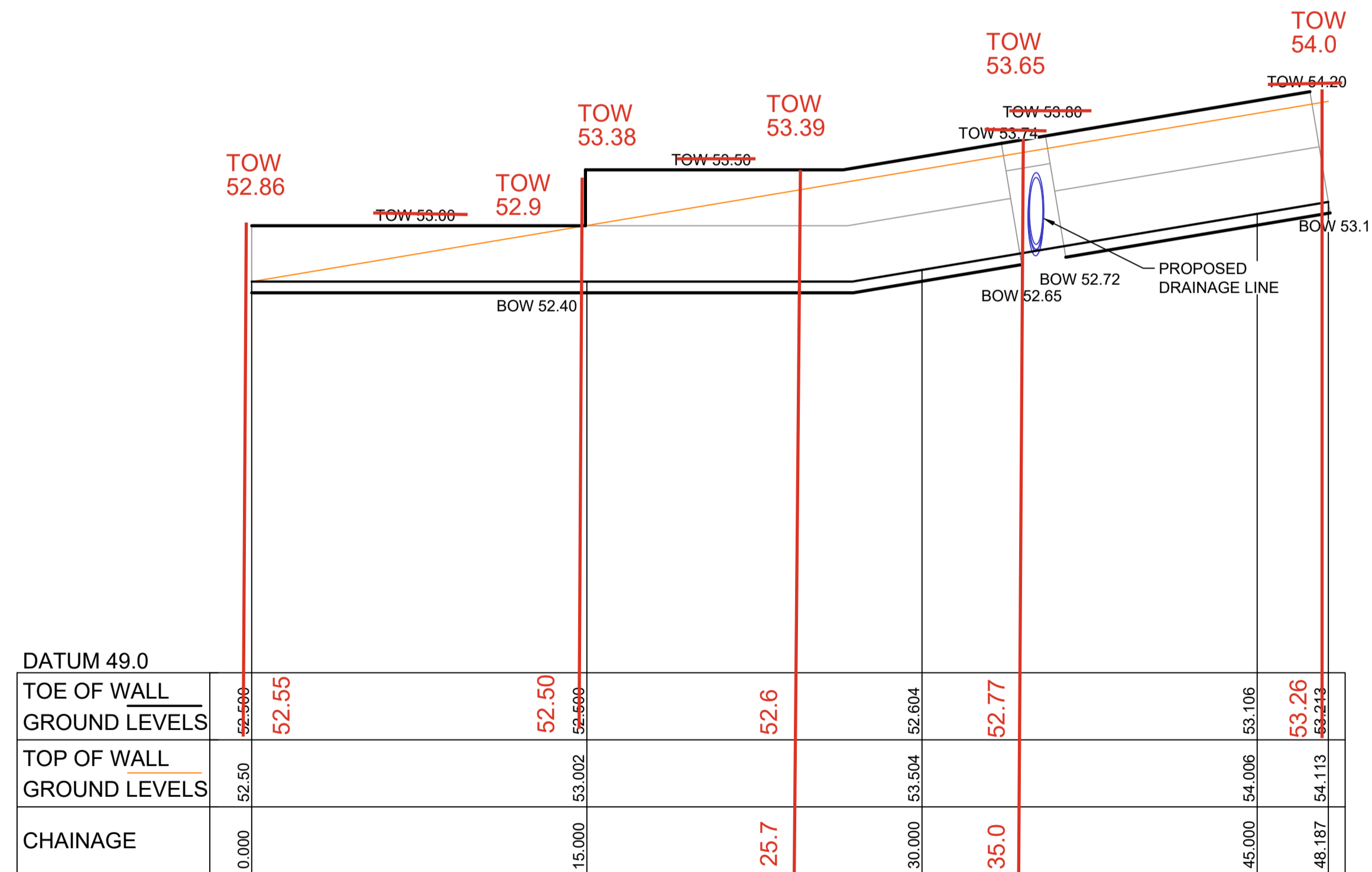


WORKS AS EXECUTED AS SHOWN IN RED
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 SIGNATURE: *Craig S Lonard*
 CAPACITY: - REGISTERED SURVEYOR #8800
 DATE: 13.02.2026
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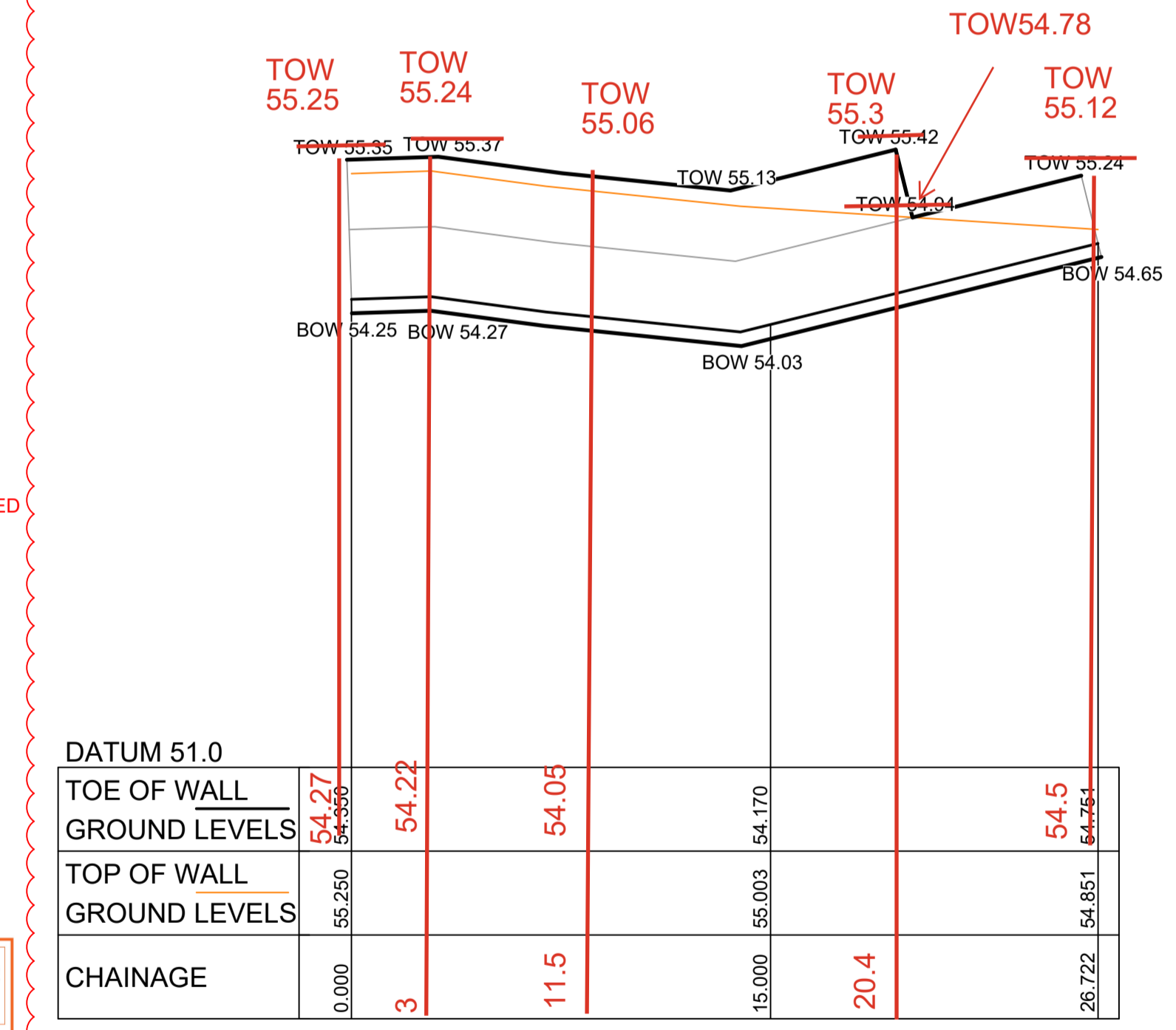
RW 19			
CHAINAGE	EASTING	NORTHING	BEARING
0	289957.76	6260160.18	44°28'37.13"
2.86	289959.76	6260162.22	
26.72	289962.32	6260165.95	6°10'15.47"

SETOUT TABLE ADDED



LONGITUDINAL SECTION RW 18
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

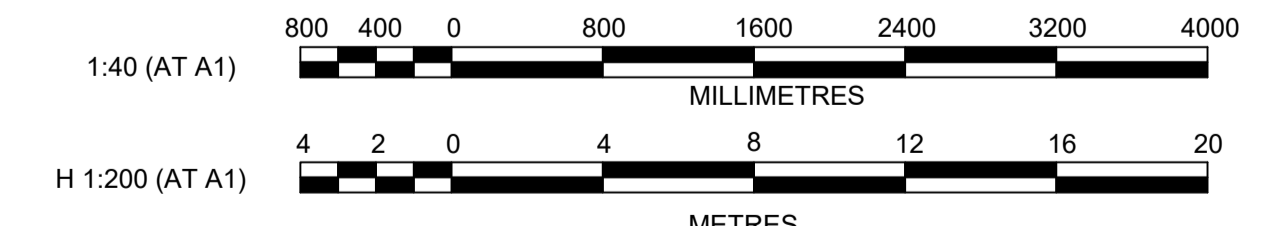
LONG SECTION UPDATED; PROPOSED DRAINAGE & SEWER SHOWN



LONGITUDINAL SECTION RW 19
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:40

RETAINING WALL PROFILES SHOWN ARE INDICATIVE ONLY.
SUBJECT TO STRUCTURAL CERTIFICATION

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P 02 4720 3300 W www.jwprince.com.au E jwp@jwprince.com.au

CLIENT: LEGACYPROPERTY

STATUS: ISSUE FOR SWC APPROVAL

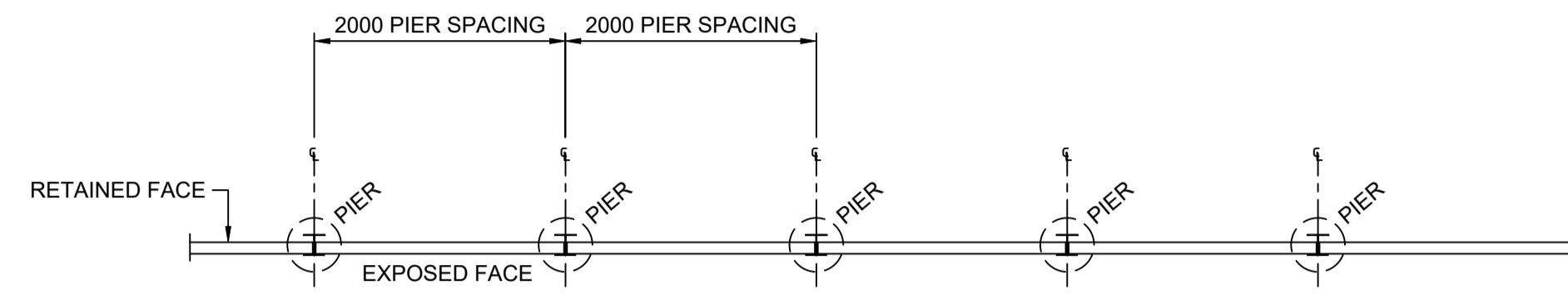
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ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL PLAN & LONGITUDINAL SECTIONS
SHEET 23

PLAN No: 110265-09-DD20622

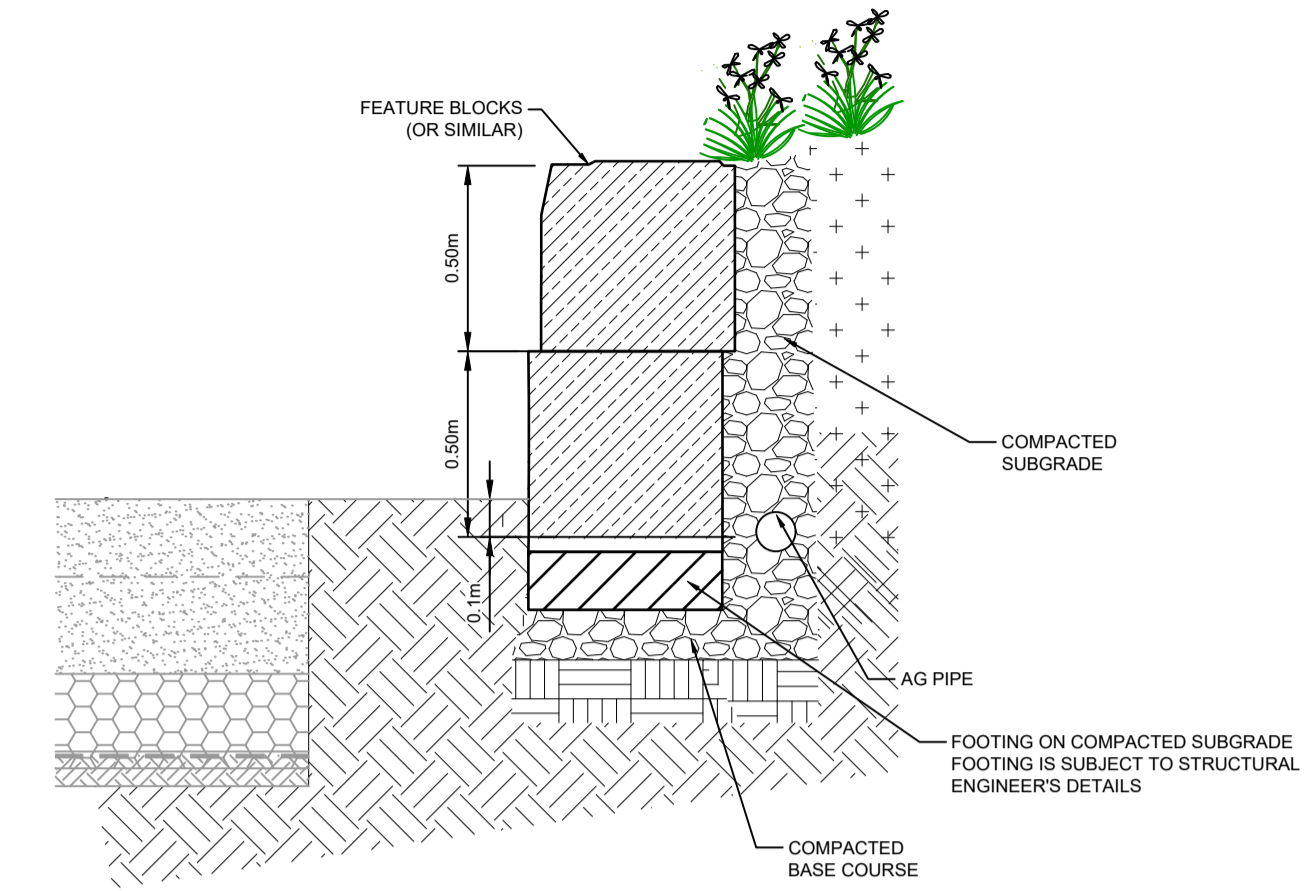
PROJECT No: 110265-09
SHEET No: DD20622

AMENDMENT	DES	DRN	CKD	APR	DATE
C	MM	GA	RT	MS	26/03/25
B	MM	EJ	RT	MS	17/12/24
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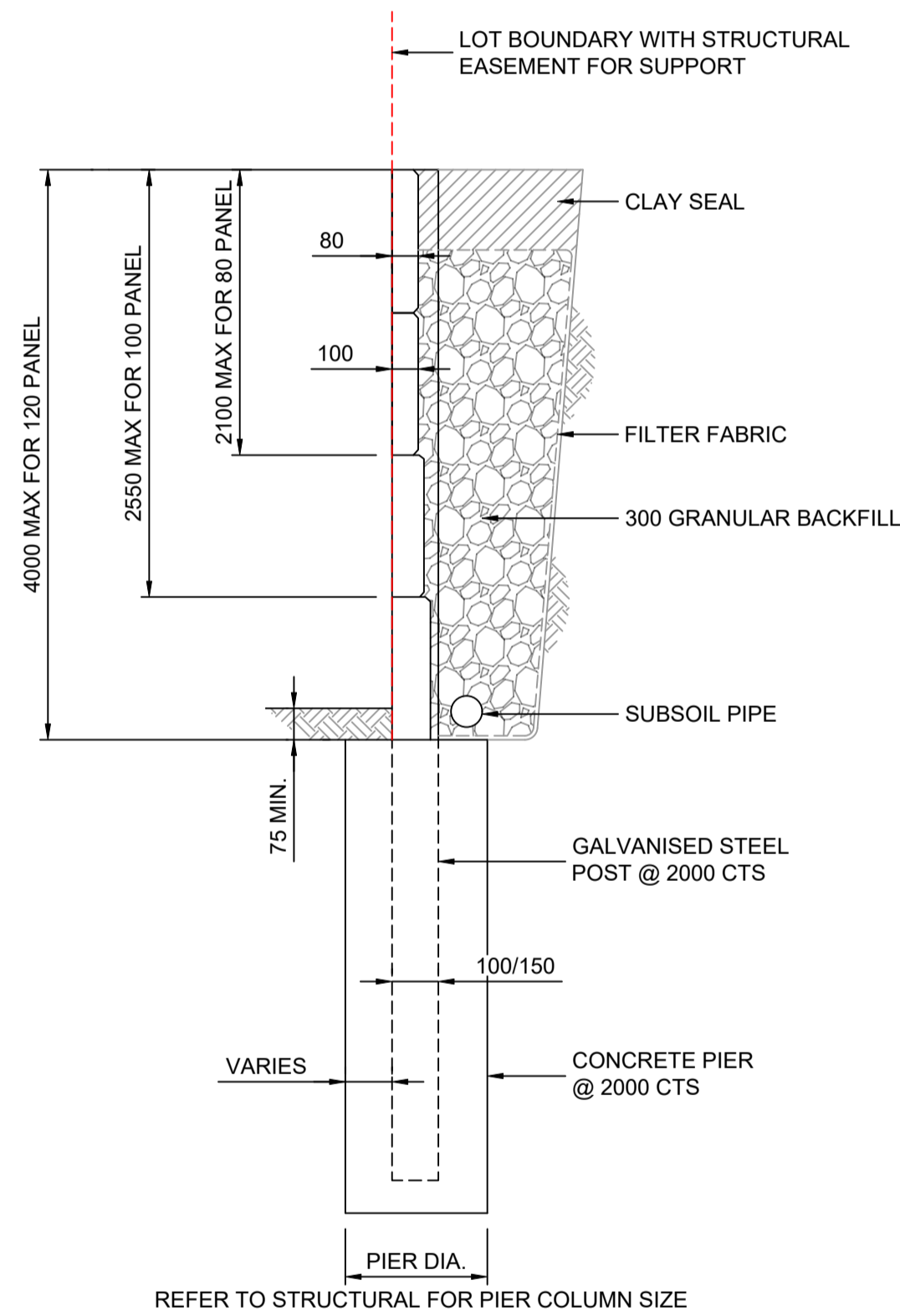


TYPICAL SLEEPER RETAINING WALL PLAN
SCALE 1:50

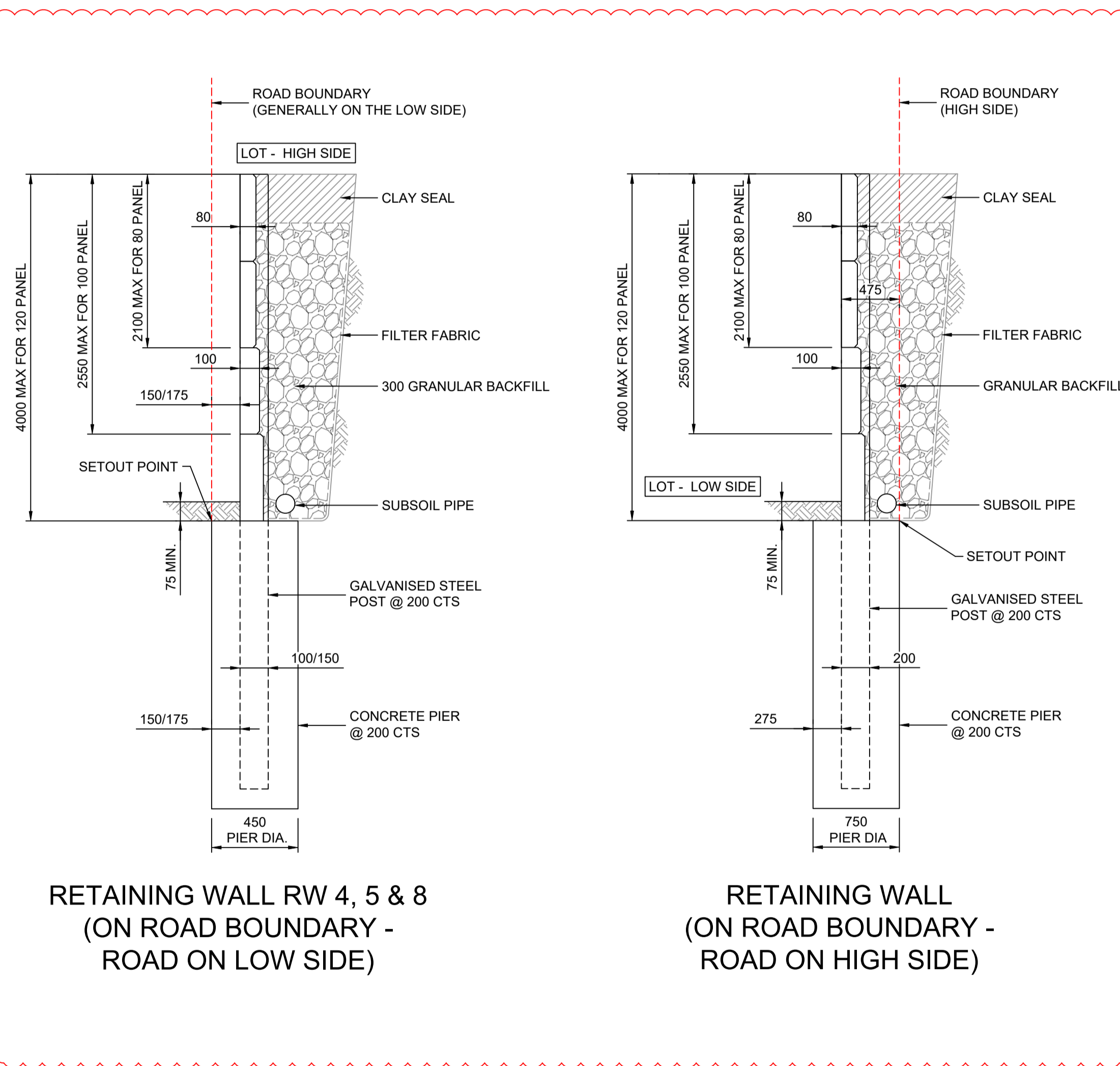
WORKS AS EXECUTED AS SHOWN IN RED
NAME: - CRAIG S LONARD *Craig*
SIGNATURE:
CAPACITY: - REGISTERED SURVEYOR #8800
DATE: 13.02.2026
CONTACT: ADMIN@HOGANCO.COM.AU



**TYPICAL SECTION - SANDSTONE BLOCK
RETAINING WALL AT RAINGARDEN**
SCALE 1:20



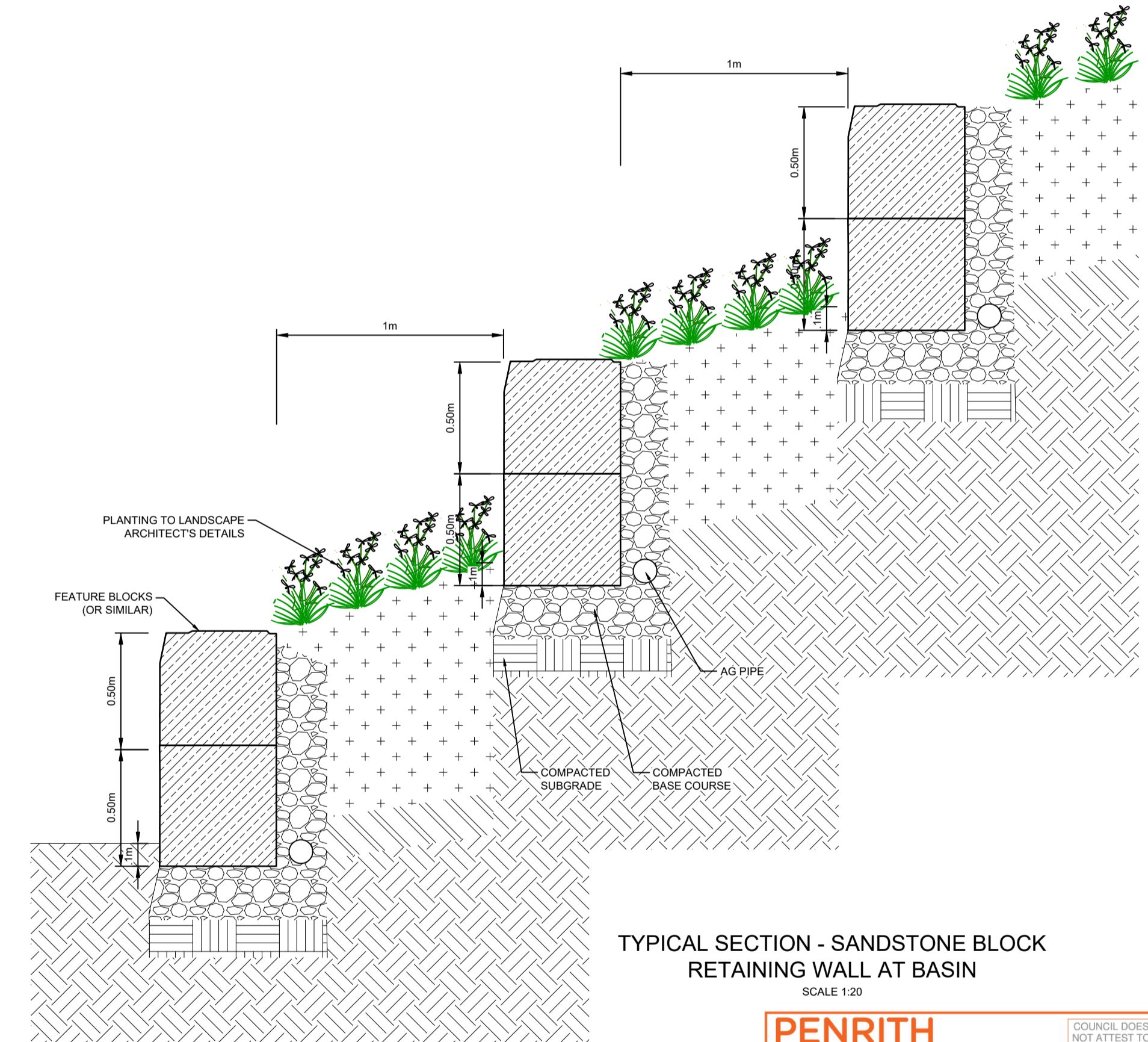
**RETAINING WALL
(BETWEEN HIGH AND LOW LOTS)**



**RETAINING WALL RW 4, 5 & 8
(ON ROAD BOUNDARY -
ROAD ON LOW SIDE)**

**RETAINING WALL
(ON ROAD BOUNDARY -
ROAD ON HIGH SIDE)**

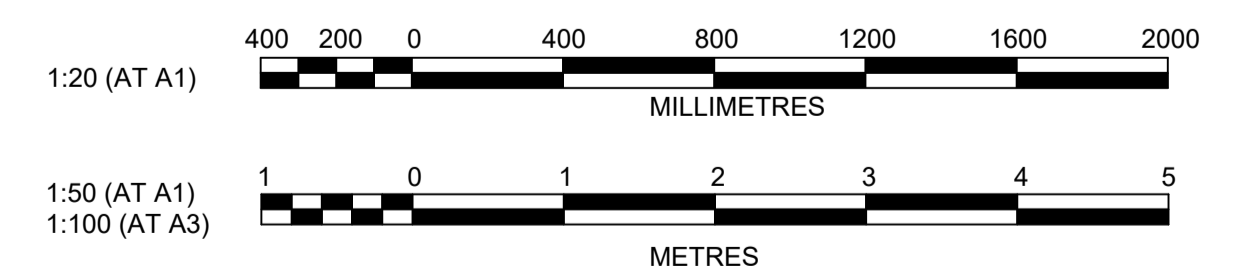
TYPICAL RETAINING SECTION
1:20



**TYPICAL SECTION - SANDSTONE BLOCK
RETAINING WALL AT BASIN**
SCALE 1:20

PENRITH CITY COUNCIL
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS
This plan / document relates to
Development Consent: MOD25/0053
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SUBJECT TO STRUCTURAL CERTIFICATION



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NO.	DESCRIPTION	BY	CHKD	DATE
A	VIEWPORT & DETAIL CHANGES	MMC	GA	RT
	AMENDMENT	DES	DRN	CKD
			RT	APR
				18/08/25

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**ORCHARD HILLS NORTH
STAGE 2 CADDENS ROAD
RETAINING WALL TYPICAL DETAILS**

AZIMUTH: M.G.A. 2020
DATUM: A.H.D.
ORIGIN: SSM 1112
PLAN No: 110265-09-DD20624

PROJECT No:
110265-09
SHEET No:
DD20624
A